



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 733-3700
F: (248) 733-3170
www.rochestermi.org

ZONING BOARD OF APPEALS REGULAR MEETING AGENDA

Chairman William Thomas

Zoning Board of Appeals Members:

Denis Fleming, David Gassen, Cody Smith & Ray Thietten

Alternate: Sara King & Jay Huh

400 Sixth Street	May 27, 2026	7:00 PM
------------------	--------------	---------

1. Call to Order
2. Roll Call
 - A. Consideration of meeting minutes from February 25, 2026
 - A. Consideration of 824 Miller Ave: Seeking a Waiver from Section 2125 (2) (a)
 - B. Consideration of 929 W University: Seeking a waiver to allow a second sign to be installed on the site.
 - C. Consideration of 307 Highland: Seeking a Waiver of Section 2102.
 - D. Consideration of 321 W. Third: Seeking a Waiver from Section 2000.
5. Miscellaneous
 - A. Election of Officers
6. Adjourn

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-651-9061 forty-eight (48) hours prior to the meeting. Staff will be pleased to make the necessary arrangements to provide necessary reasonable accommodations, including auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting.

1. CALL TO ORDER

Chair Thomas calls the meeting to order at 7:00 p.m.

2. ROLL CALL

PRESENT: Chair William Thomas, David Gassen, Cody Smith, Ray Thietten, Jay Huh

ABSENT: Denis Fleming, Sara King

ALSO PRESENT: City Manager Nik Banda, Planning & Zoning Coordinator Jeremy Peckens

Chair Thomas notes that due to the absence of Denis Fleming, Jay Huh will be voting to ensure full board.

3. MINUTES

Regular Meeting Minutes of the meeting held June 25, 2025.

Board discussion occurred regarding language in the prior minutes referencing precedent-setting decisions. Members discussed this ensuring that references to similar past cases are clearly documented when applicable and that decisions remain case-by-case in nature.

MOTION: Motion to approve the minutes as presented. Motion by Thietten. Seconded by Huh.

VOTE:

YES: Thomas, Gassen, Smith, Thietten, Huh

NO: None.

Motion Carried.

4. CONSIDERATION

A. Consideration of 139 Romeo: Seeking a Waiver of Section 2005 – B-1 (b).

The applicant is seeking a waiver to permit one ADA-accessible parking space within the required front yard area.

Mr. Banda provided background on the property, noting that the former structure had a nonconforming parking arrangement in the front yard. The property has been conditionally approved by the Planning Commission to be redeveloped into a mixed-use building with retail on the first floor and residential units above. Due to the narrow lot width and significant grade changes toward the rear (north) of the property, placement of an ADA-compliant space in the rear would not meet slope, accessibility, and distance requirements under building code standards.

The Planning Commission approved the redevelopment plan contingent upon securing this waiver, as the ADA-accessible space must be located closest to the accessible entrance. Shared parking agreements are in the process of being secured with adjacent property owners to satisfy overall parking requirements, these documents will be reviewed by the city attorney. The waiver request pertains solely to allowing one ADA-accessible space in the front yard area.

Discussion included:

- ADA slope and surface requirements.
- Grade constraints of the lot.
- Parking calculations and shared parking agreements.
- Landscaping buffer is provided between the sidewalk and parking space.
- Existing conditions of neighboring properties.

The applicant, Joe Acapelli, 38329 Dodge Park Road, Sterling Heights, along with project representatives, addressed the Board and confirmed the explanation of the site constraints and design considerations.

Board members noted that the hardship relates to the unique topography and narrow configuration of the lot, and that the proposal includes a landscaped buffer area in front of the building allowing for additional screening.

MOTION: Mr. Smith made a motion to approve the waiver request for 139 Romeo based upon the unique grade and configuration of the lot, ADA accessibility requirements, and the provision of a landscaped buffer as shown on the submitted drawings dated 12.8.2025. Second, by Gassen.

VOTE:

YES: Thomas, Gassen, Smith, Thietten, Huh

NO: None.

Motion Carried.

6. MISCELLANEOUS

Board members discussed ZBA procedures and best practices, including:

- Removal of the existing variance checklist previously referenced during motion.
- Eliminating formal staff approval/denial recommendations from future ZBA reports.
- Requesting that McKenna (City planning consultants) provide best practice guidance for variance findings and motion structure.
- Future review and update of ZBA Rules and Procedures.
- Training resources are available through Michigan Municipal League, Michigan State University, and other planning organizations.
- Clarification regarding conflicts of interest and recusal procedures.

MOTION: Mr. Smith made a motion to remove the existing ZBA checklist and to eliminate staff approval/denial recommendations from future ZBA reports and directed staff to request best practices guidance from planning consultant McKenna. Second, by Gassen.

VOTE:

YES: Thomas, Gassen, Smith, Thietten, Huh

NO: None.

Motion Carried.

7. ADJOURN

Chair Thomas adjourned the meeting at 8:07pm

Respectfully submitted,

Jeremy Peckens, Planning and Zoning Administrator



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

May 11, 2026

TO: Zoning Board of Appeals

RE: Staff Report - ZBA Case 824 Miller Road

Amy Gilpin, a representative of Consumers Energy, who owns the natural gas regulation/valve station at 824 Miller Road, is seeking a variance from Section 2125 (2) (a) – Fence Standards of the City’s Zoning ordinance that only permits a 6-foot-high fence or screen wall within the R-1 Zoning Classification. The property is located on the east side of Miller Road north of Parkdale Ave., zoned R-1, One Family Residential, Sidwell Parcel 15-11-328-004. The specific waiver being sought is as follows:

- **A waiver of Section 2125 (2)(a)**, which states: All fences located on property zoned for residential use of either a one-family, two-family or multifamily district shall be not more than six feet in height in any part and shall be subject to the approval of the City Building Inspector. The applicant is seeking to install an eight-foot-high screen wall along a portion of the site and an eight-foot-high decorative fence along the frontage portion of the lot.

With regard to the existing land use, the site is currently occupied with a natural gas regulation/valve station built in the 1960’s that is in need of replacing with a new station and additional modern support equipment outlined in their application. They propose to do major site improvements including security fencing on all four sides and additional landscaping along the Miller Road frontage. Three of the sides will be the proposed 8-foot-high masonry panels and the street front fencing will be decorative aluminum to insure and open site line for easy observation to the fenced in yard.

1. The site contains 0.21 acres of land, with a frontage of 60 feet along Miller Road and has a depth of 150 feet.
2. The Planning Commission will consider their site plan for conditional approval at their June regular meeting, with the condition being receiving a ZBA waiver for the fence heights.
3. The Gas Company has met with the adjacent residents for their input on the style of masonry wall they propose and have settled on the one in your packet.
4. The waiver being sought is for two feet of additional height to both the masonry and decorative fencing on all four sides of the property.

Sincerely,

Nik Banda

Nik Banda
City Manager & Economic Development Director

Miller & Parkdale Regulator Station City of Rochester / Oakland County



Project Narrative – Fence / Wall Height Variance

Consumers Energy (Consumers) currently operates a natural gas regulation / valve station on the east side of Miller Avenue, north of Parkdale Road in the City of Rochester. The proposed site (Parcel 15-11-328-004) is zoned R-1 and is currently being used as a natural gas regulator station. Consumers plans to reconstruct the existing facility. The work will include installation of a new 14' W x 20' L x 9' H brick faced steel building, new gas piping and equipment, remote telemetry unit (RTU), security fencing / Wall, and driveway. The construction is planned to commence in June 2026 and be completed by September 2026. Following is a brief narrative of the proposed project.

1. Existing Site Information – 824 Miller Road

Parcel #	#68-15-11-328-004
Current Zoning:	R-1 Family Residential
Lot Size:	0.17 Acres
Current Use:	Natural Gas Regulator Station
Proposed Use:	Natural Gas Regulator Station

2. Existing and Proposed Use

The site is currently used as a natural gas regulation / valve station. The proposed use is the same.

A natural gas regulator station serves as a regulation site to allow the Owner to provide safe and reliable natural gas service to the surrounding community by reducing the transmission line pressure to a lower distribution pressure that is common for residential use. The site also serves as a valve site to allow the owner to isolate specific lines / areas in the event of a leak or an incident.

The proposed project is a rebuild of the existing site with modern equipment that will allow Consumers to improve the reliability of the natural gas system and provide safer conditions for workers who maintain the facility. The site will include a new building to house valves which will allow maintenance to be performed out of the weather. The building will have no public utilities except for electrical service. This facility will also allow Consumers to remotely monitor the flow of gas through the system. The site will typically be visited by maintenance personnel on a weekly basis.

3. Proposed Improvements

The proposed improvements will include the following:

- a. Removal of the existing building, piping, gravel driveway, and gas equipment.
- b. Installation of new gas piping, valves, and electrical monitoring equipment.
- c. Construction of a new 14' W x 20' L x 9' H brick faced steel building.
- d. Construction of new concrete driveway to the proposed fence and gravel parking area within the fence and placement of crushed limestone surface within the balance of the fenced perimeter.
- e. Installation of 8' H concrete panel wall on the north, east, and south sides.
Installation of 8' H decorative aluminum fence on the west side.

4. *Proposed Variance*

Consumers Energy is requesting a variance from **Section 2125 – Fence Standards (2) a.** to allow the construction of a fence with a height of eight feet instead of the allowable six feet. The proposed fence will be a concrete panel privacy fence on the sides (north and south) and rear yard (east) and an aluminum decorative fence on the front (west). All fence heights will be eight feet. The proposed fence will be installed one foot off the property line on the north and east sides, three feet off the property line on the south side and on the setback line on the west side.

The reason for this request is to provide both screening for the adjacent residences as well as additional security for this unmanned essential services site which provides natural gas service to the surrounding neighborhood.

In accordance with the requirements of City of Rochester Zoning Ordinance Section 3002 – Appeals from the board of appeals, Section 3001 – Power and duties, subsection (2)a, we are providing the following justifications for the requested variance:

- a. That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not generally applicable to other lands, structures, or buildings in the same district.

This site is an essential services site for which additional security measures are recommended. Consumers Energy security measures include a minimum fence height of eight feet. These security measures are intended to prevent tampering with the valves within the facility and allow Consumers Energy to continue to provide safe and reliable natural gas service to the surrounding properties. Other parcels in the same district do not require special consideration for security.

- b. That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance.

A literal interpretation of the ordinance would require Consumers Energy to violate their own safety standards which have been developed in consideration of industry best practices for natural gas providers. A lower fence height as permitted by the ordinance could potentially put the general public at risk of both potential danger and loss of natural gas service due to unauthorized entry to the facility. The additional fence height is requested to allow Consumers Energy to provide safe and reliable gas service to their customers.

- c. That the special conditions and circumstance do not result from the actions of the applicant.

The historical use of this facility has not required a fenced perimeter. Current regulations and concerns with unauthorized entry / tampering have driven utilities to implement additional security measures. These measures have been adopted by the utilities not as a result of their own doing, but as a reaction to the potential for unauthorized entry and tampering with equipment which could impact both the health and safety of the surrounding residences.

- d. That the request relates only to the property that is under the control of the applicant, e.g., ownership, option, to purchase, long term lease.

Consumers Energy has owned this parcel of land for many years. This is the only parcel that will be impacted.

- e. That the application states the owner's full name and address and is signed by the owner if the owner is not the applicant.

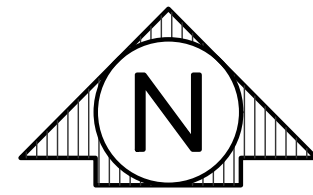
The application includes the owner's full name and address and is duly signed by an authorized employee of the owner.

- f. That an application for the same variance has not been submitted in the previous 12 months unless the applicant can show there has been a change in the existing conditions.

This request for a variance has not been previously submitted.

PROJECT SCOPE

PREPARE A SITE PLAN AND HELP OBTAIN ASSOCIATED PERMITS FOR THE RECONSTRUCTION OF THE MILLER AND PARKDALE REGULATOR STATION ON CONSUMERS ENERGY PROPERTY IN THE CITY OF ROCHESTER. THE SCOPE OF WORK INCLUDES THE CONSTRUCTION OF A NEW BUILDING, DRIVEWAY, SECURITY FENCING, AND NATURAL GAS PIPING AND EQUIPMENT. CONSTRUCTION IS ANTICIPATED TO BEGIN IN JUNE 2026 AND END IN SEPTEMBER 2026.



SITE PLAN FOR CONSUMERS ENERGY MILLER AND PARKDALE REG STATION

SECTION 21 T03S-R11E
824 MILLER AVENUE
ROCHESTER, MI 48307
CITY OF ROCHESTER, OAKLAND COUNTY

SHEET INDEX

C-2529-PMT-01	PERMIT COVER SHEET
C-2529-PMT-02	GENERAL NOTES
C-2529-PMT-03	EXISTING SURVEY AND REMOVALS SHEET
C-2529-PMT-04	SITE PLAN
C-2529-SPL-02	GRADING AND SOIL EROSION
C-2529-PMT-05	LIGHTING PLAN
C-2529-PMT-06	LANDSCAPING PLAN
C-2529-PMT-07	OCWRC SESC DETAILS
C-2529-SAD-04	SITE DETAILS
C-2529-PMT-08	BUILDING PLAN AND ELEVATION VIEW
C-2529-PMT-09	PHOTO EXAMPLES

LEGAL DESCRIPTION

PARCEL ID# 15-11-328-004
PARCEL DESCRIPTION:
WARRANTY DEED DATED JUNE 4, 1962
LIBER 4317, PAGE 66, OAKLAND COUNTY RECORDS

LOT SIX (6) OF LILLIAN HILLS SUBDIVISION, PART OF THE SOUTHWEST ONE-QUARTER (SW-1/4) OF SECTION ELEVEN (11), TOWNSHIP THREE (3) NORTH, RANGE ELEVEN (11) EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 25 OF PLATS ON PAGE 27 OF OAKLAND COUNTY RECORDS.

TOTAL ACREAGE: 0.17 ACRES

STATEMENT OF USE

THIS IS A NATURAL GAS FACILITY THAT IS USED TO PROVIDE NATURAL GAS TO THE SURROUNDING AREA. THE PROPOSED BUILDING WILL BE USED TO ENCLOSE NATURAL GAS EQUIPMENT. THE BUILDING WILL HAVE ELECTRICAL SERVICE, BUT NO WATER OR SEWER SERVICES. THE SITE WILL NOT BE REGULARLY OCCUPIED. EMPLOYEES WILL ROUTINELY VISIT THE AREA TO PERFORM REGULAR INSPECTIONS AND ROUTINE MAINTENANCE. THE EXISTING ZONING IS R-1 FAMILY RESIDENTIAL AND THE PROPOSED ZONING IS R-1 FAMILY RESIDENTIAL.

LOCAL AGENCY AND UTILITY INFORMATION

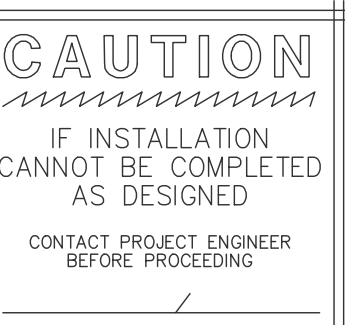
AGENCY	UTILITY
CITY OF ROCHESTER PLANNING & ZONING 400 SIXTH STREET ROCHESTER, MI 48307 248-733-3700	SITE PLAN
OAKLAND COUNTY WATER RESOURCES COMMISSIONER 120 W MICHIGAN JACKSON, MI 49201 517-788-4398	SOIL EROSION
CITY OF ROCHESTER DEPARTMENT OF PUBLIC WORKS 400 SIXTH STREET ROCHESTER, MI 48307 248-733-3700	ROW

OWNER INFORMATION

CONSUMERS ENERGY
ONE ENERGY PLAZA
JACKSON, MI 49201
(517) 745-1639
AMY GILPIN

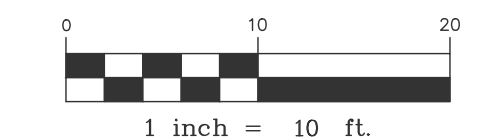
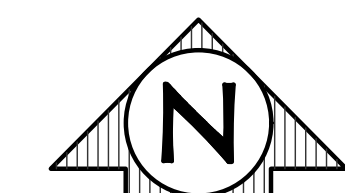
CIVIL ENGINEER INFORMATION

ROWE PROFESSIONAL SERVICES COMPANY
540 S. SAGINAW ST, SUITE 200
FLINT, MI 48502
(810) 341-7500
DOUGLAS SCOTT, P.E.



ORIGINAL DRAWING #	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	DESIGN DATE	PEER REV.	PEER DATE	DESIGN APP.	DESIGN DATE	ENG APP.	ENG DATE	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	DESIGN DATE	PEER REV.	PEER DATE	DESIGN APP.	DESIGN DATE	ENG APP.	ENG DATE
					J. ELIZANDO	APRIL 2026																		
					K. LAMBERT	APRIL 2026																		
					K. LAMBERT	APRIL 2026																		
					D. SCOTT	APRIL 2026																		
					A. TRENT	APRIL 2026																		

		MILLER AND PARKDALE REG STATION 2026 CONSTRUCTION	
		PERMIT COVER SHEET	
GEO-SPATIAL & GAS ASSET MANAGEMENT GAS METER AND REGULATION DEPARTMENT		FIELD AREA: ROYAL OAK PROJECT ID# STA. NO. DRAWING NO. SHEET REV.	
FILE: 670063-C-2529-PMT-01.DWG RASTER FILE:		SCALE: NONE GM-01178 67-053 C-2529-PMT 01	



LEGEND

- FOUND SURVEY MARKER
- △ SURVEY TRAVERSE POINT
- ⊙ BOLLARD
- EXISTING POLE
- ◆ SECTION CORNER
- TELEPHONE RISER
- ⊞ ELECTRICA METER
- ← GUY ANCHOR
- ⊞ GAS VALVE
- SIGN
- BUSH
- DECIDUOUS TREE
- ▨ EXISTING PAVEMENT
- ▨ EXISTING CONCRETE
- ▨ EXISTING PAVERS
- ▨ REMOVE EXISTING GRAVEL
- PROPERTY LINE
- - - RIGHT OF WAY
- - - STORM SEWER
- CENTERLINE OF ROAD
- X - FENCE
- Tele - Tele - OVERHEAD TELEPHONE
- Dist - Dist - OVERHEAD DISTRIBUTION
- Serv - Serv - OVERHEAD SERVICE LINE
- GAS — UG GAS PIPELINE
- San — UG SANITARY SEWER
- - - TOP OF SLOPE
- - - TOE OF SLOPE
- ~ ~ ~ TREE / BRUSH LINE
- ⊞ ELECTRICAL BOX
- TREE



SEC. 11 CITY OF ROCHESTER T03, R11 OAKLAND COUNTY
 LOCATION MAP NOT TO SCALE

BASIS OF BEARING

MICHIGAN STATE PLANE COORDINATE SYSTEM
 SOUTH ZONE - NAD83 2011
 REFERENCED TO THE MICHIGAN SPATIAL REFERENCE NETWORK
 VRS NETWORK SOLUTION
 AVG. COMBINED SCALE FACTOR = 0.9998801998
 GROUND DISTANCES ARE SHOWN.

BASIS OF ELEVATION

NORTH AMERICAN VERTICAL DATUM OF 1988
 (CEOID18)
 MICHIGAN SPATIAL REFERENCE NETWORK
 VRS SOLUTION
 1 FOOT CONTOURS ARE SHOWN

SITE BENCHMARK #1257

TOP OF SOUTHWEST CORNER OF CONCRETE PORCH
 NORTHING: 435206.9
 EASTING: 13457501.6

SITE BENCHMARK #4

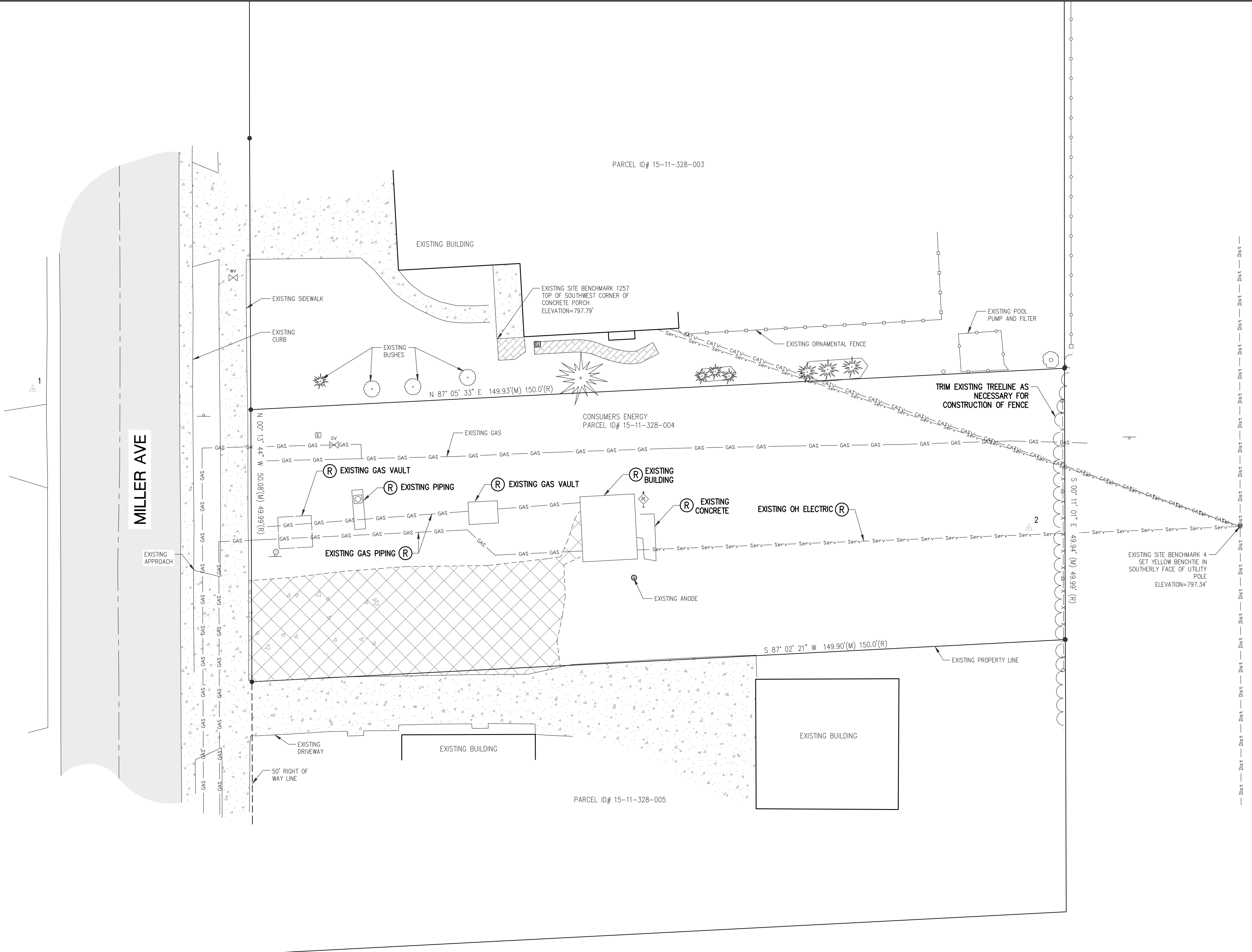
SET YELLOW BENCHMARK IN SOUTHERLY FACE OF UTILITY POLE
 NORTHING: 435171.9
 EASTING: 13457638.0

SURVEY CONTROL #1

SET 1/2" BAR AND CAP (CE CONTROL P1) 2.5' WEST OF WEST BACK OF CURB & 3.2' NORTH OF DRIVEWAY TO #825 MILLER AVE
 NORTHING: 435197.62
 EASTING: 13457416.17

SURVEY CONTROL #2

SET 1/2" BAR AND CAP (CE CONTROL P1) 72.2' EAST OF REG BUILDING & 29.3' SOUTH OF FENCE TO POOL FILTER
 NORTHING: 435172.052
 EASTING: 13457599.490



ORIGINAL DRAWING #

REV.	PROJECT ID	DATE	DESCRIPTION	DESIGN	PEER REV.	DESIGN APP.	ENG APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGN	PEER REV.	DESIGN APP.	ENG APP.

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGN	PEER REV.	DESIGN APP.	ENG APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGN	PEER REV.	DESIGN APP.	ENG APP.



GEO-SPATIAL & GAS ASSET MANAGEMENT
 GAS METER AND REGULATION DEPARTMENT

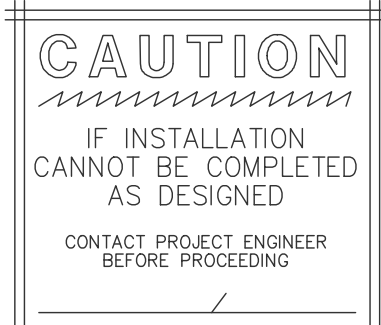
FILE: 670063-C-2529-PMT-03.DWG
 RASTER FILE:

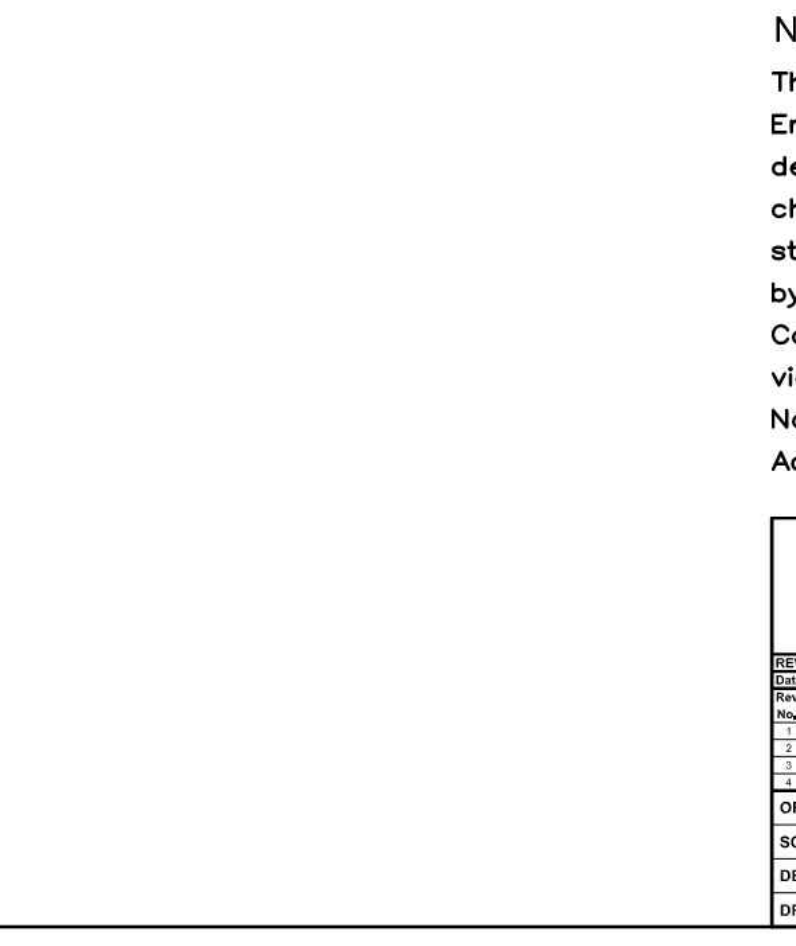
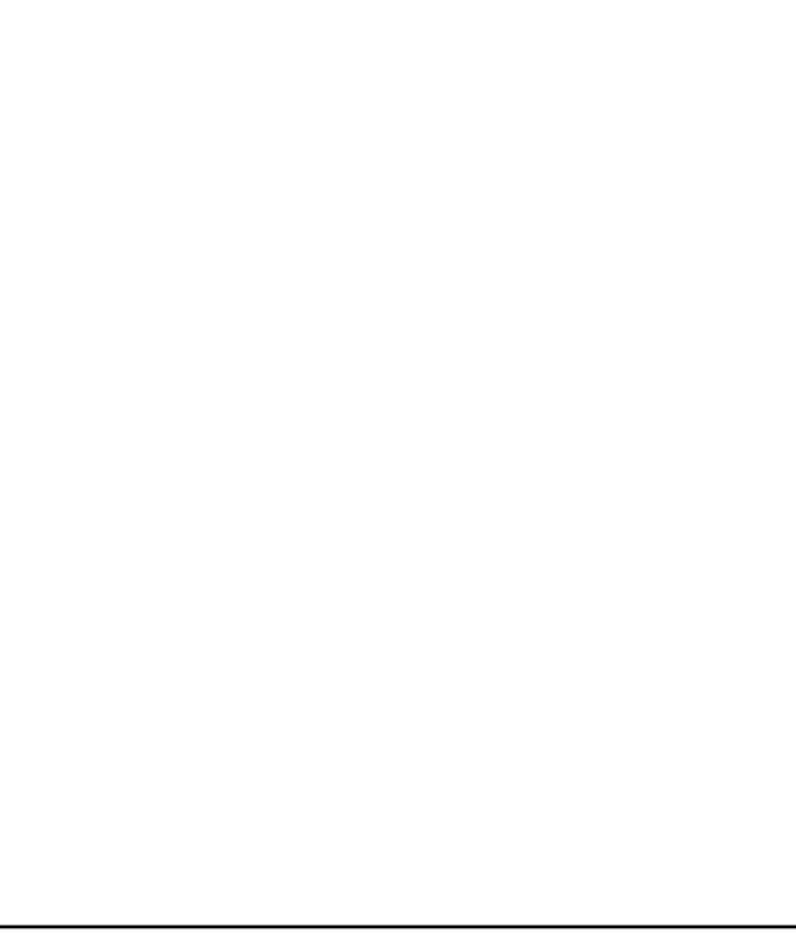
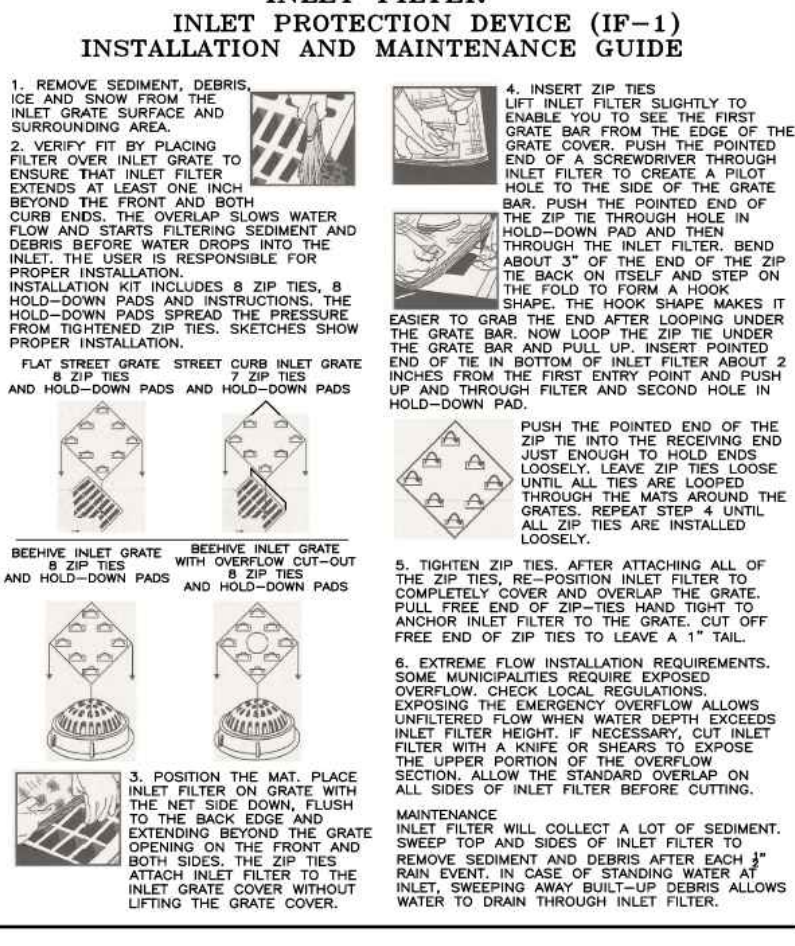
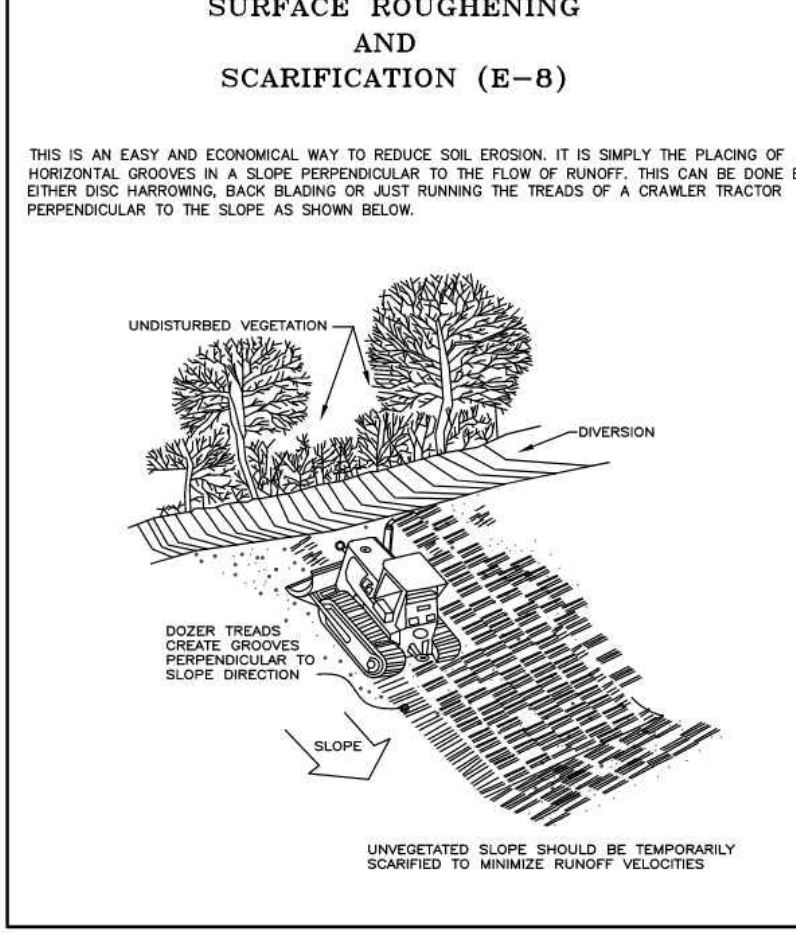
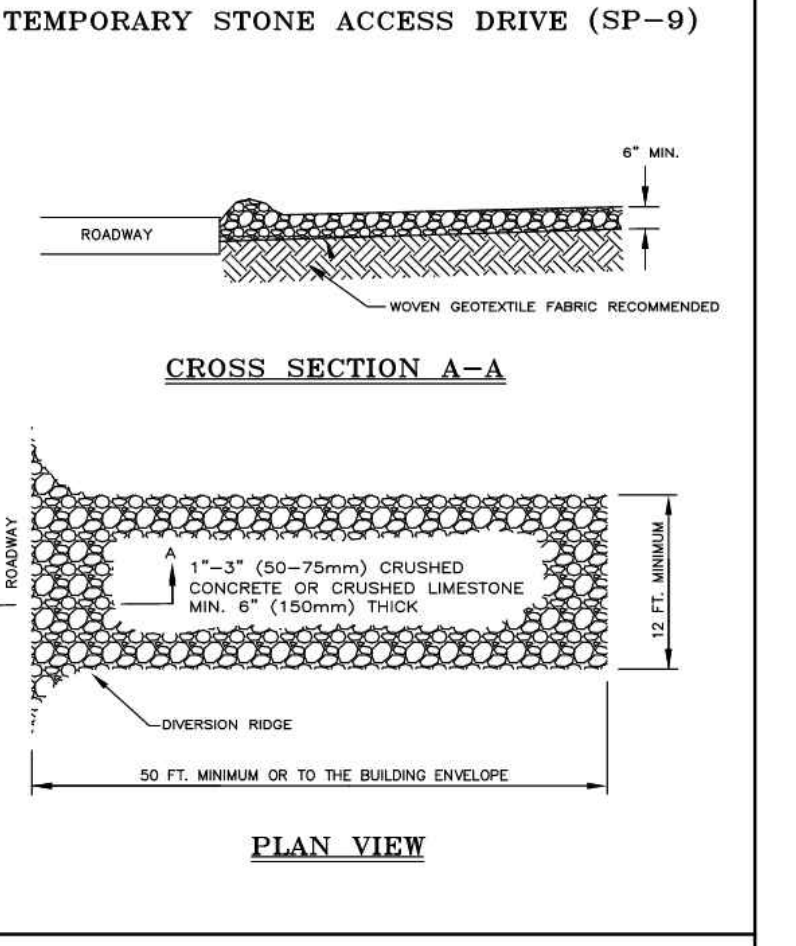
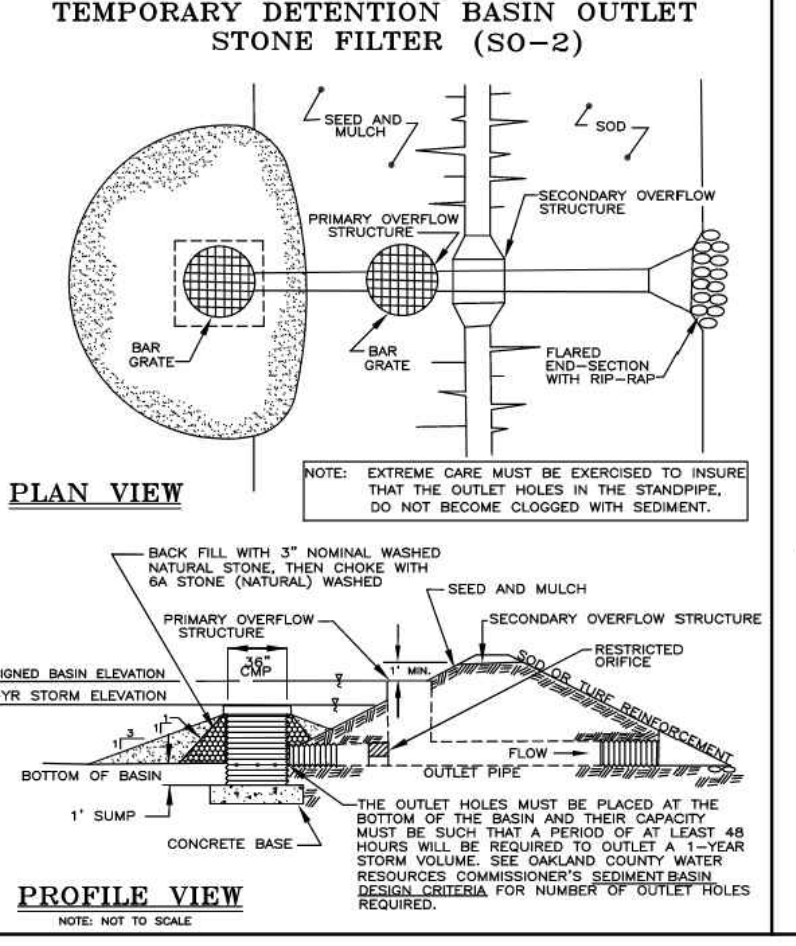
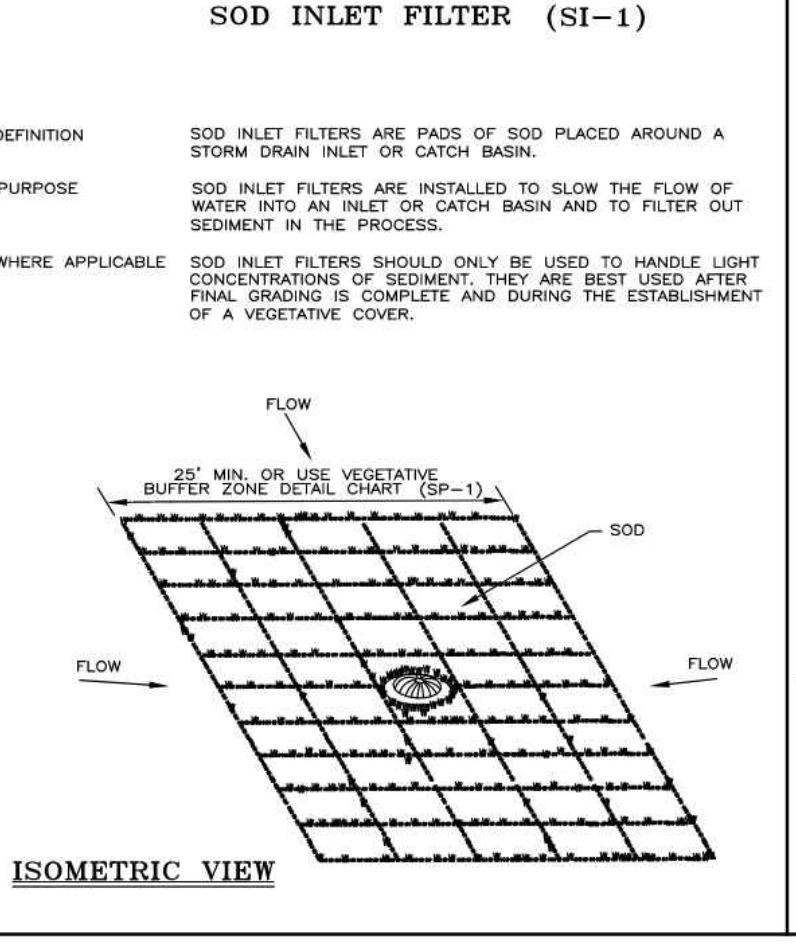
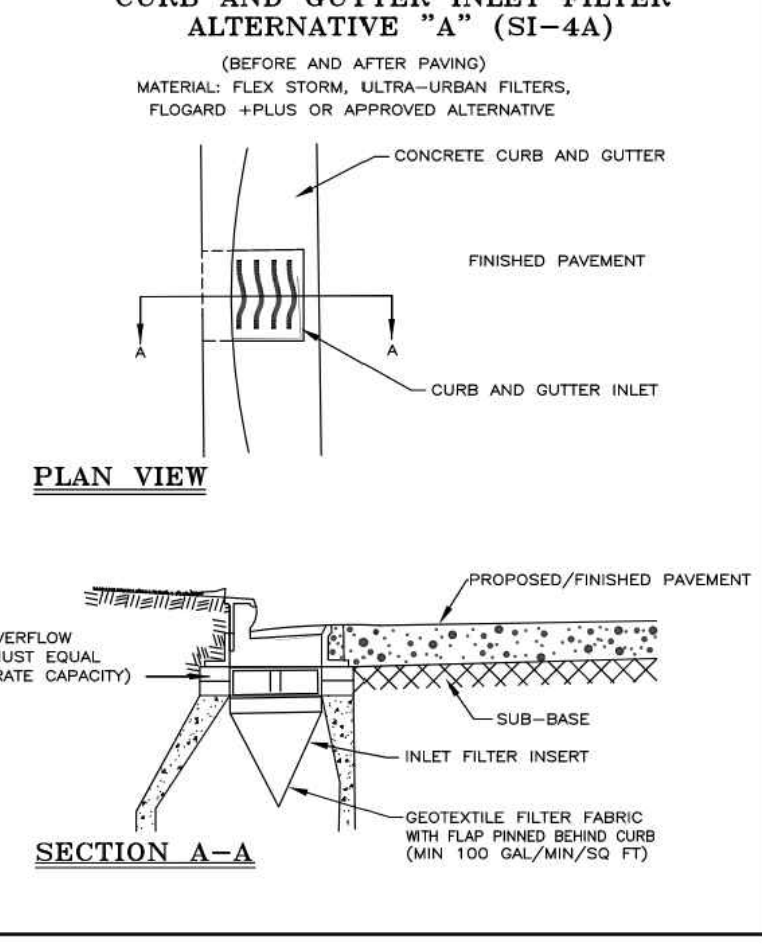
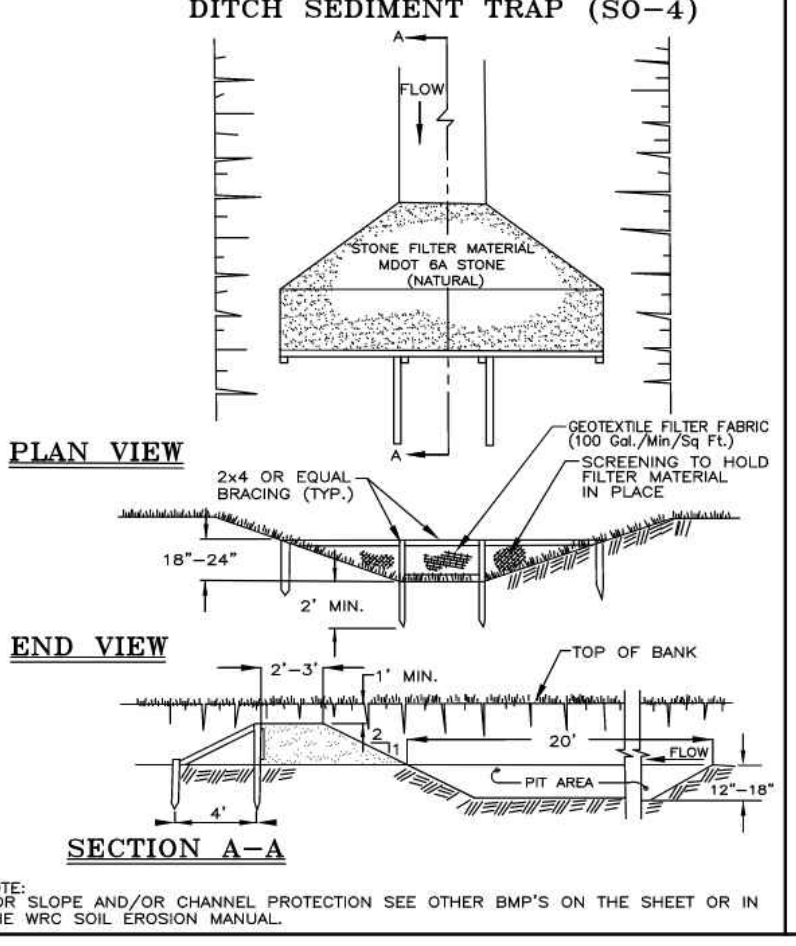
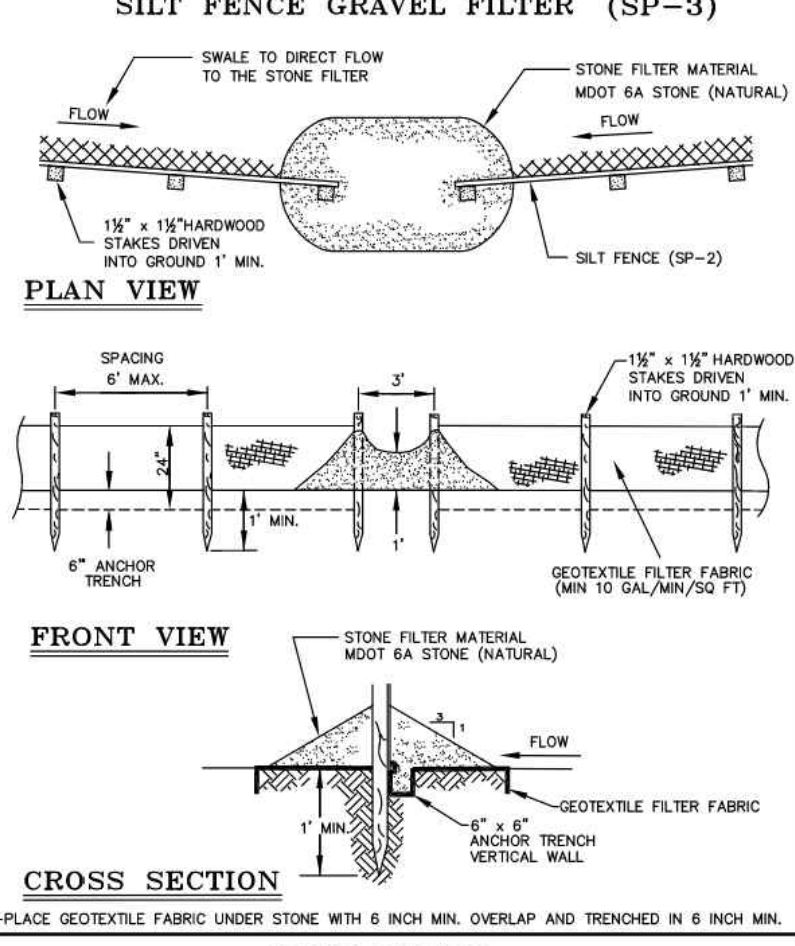
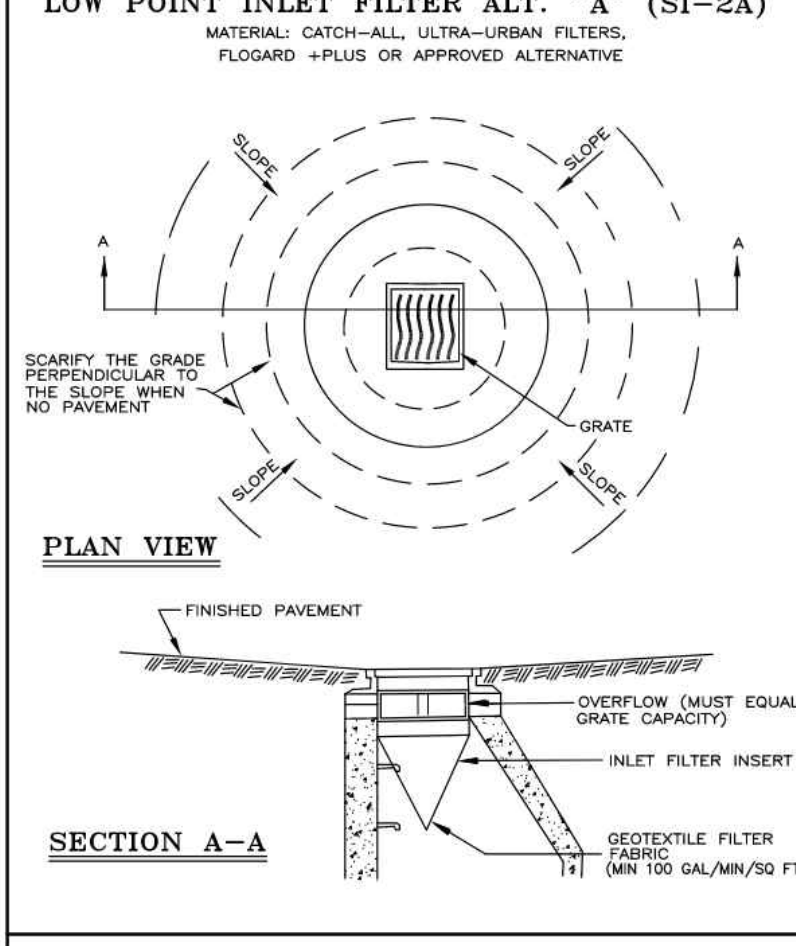
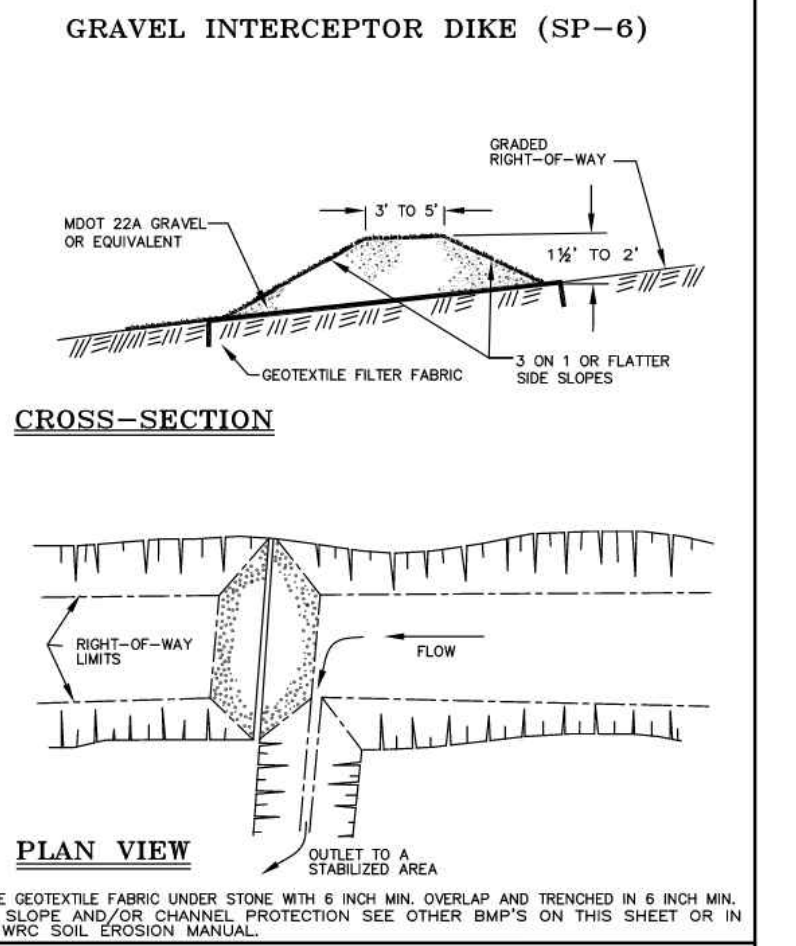
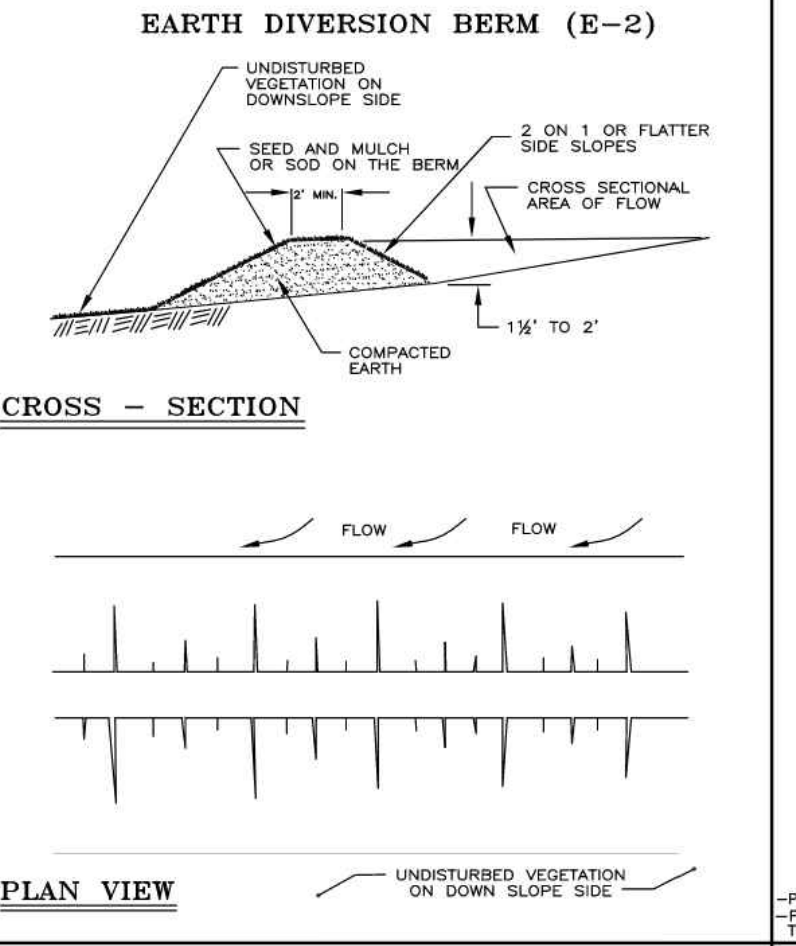
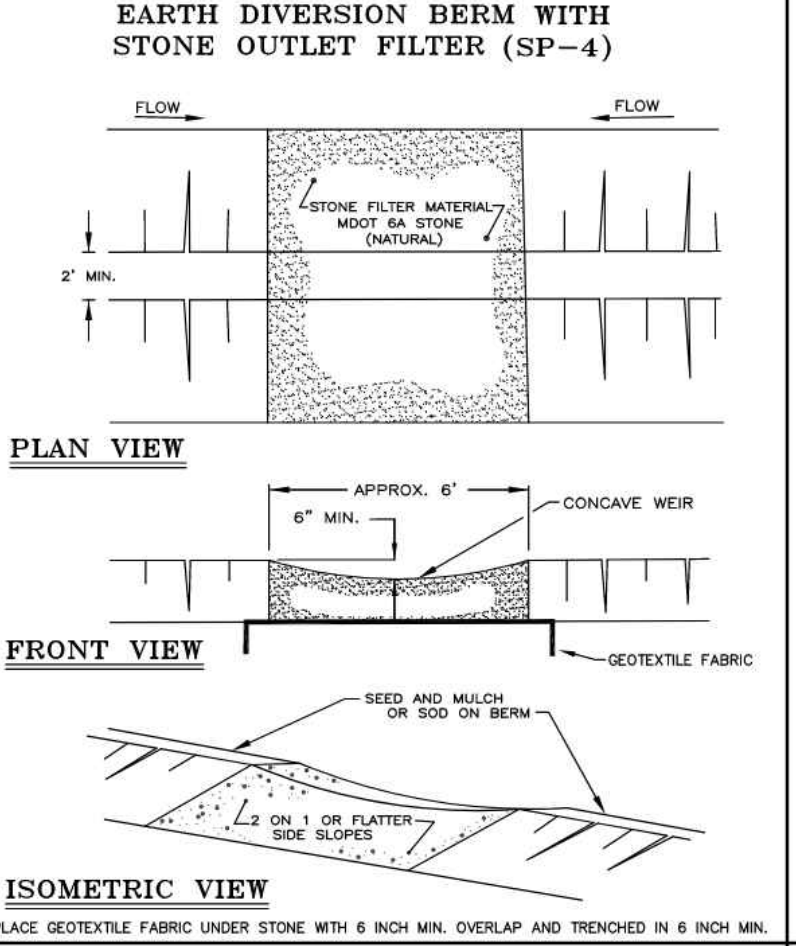
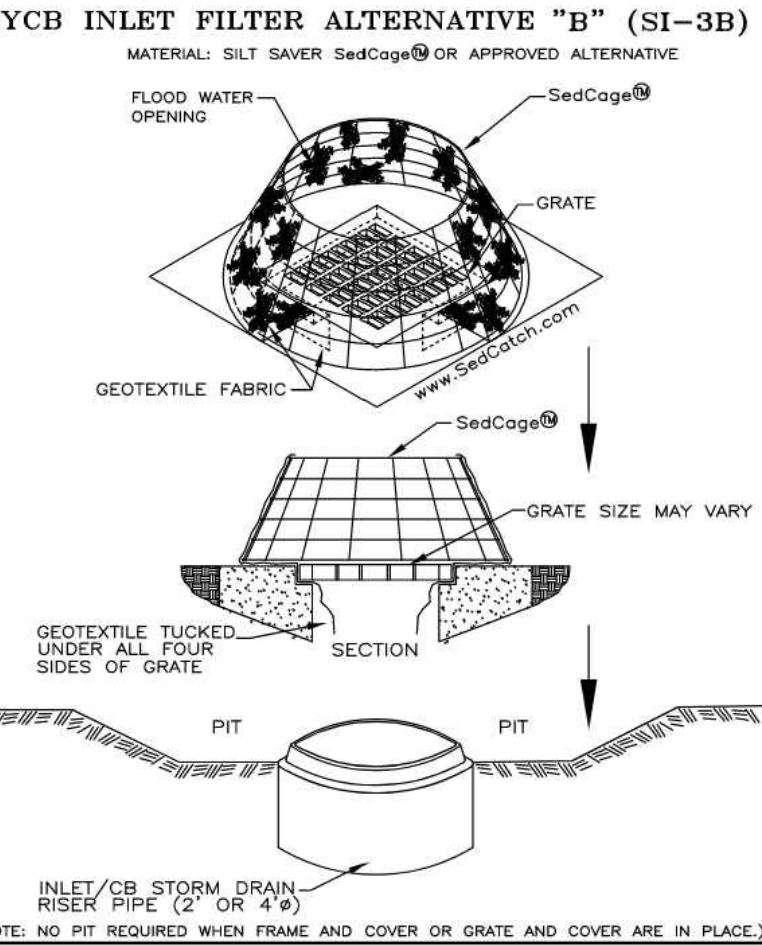
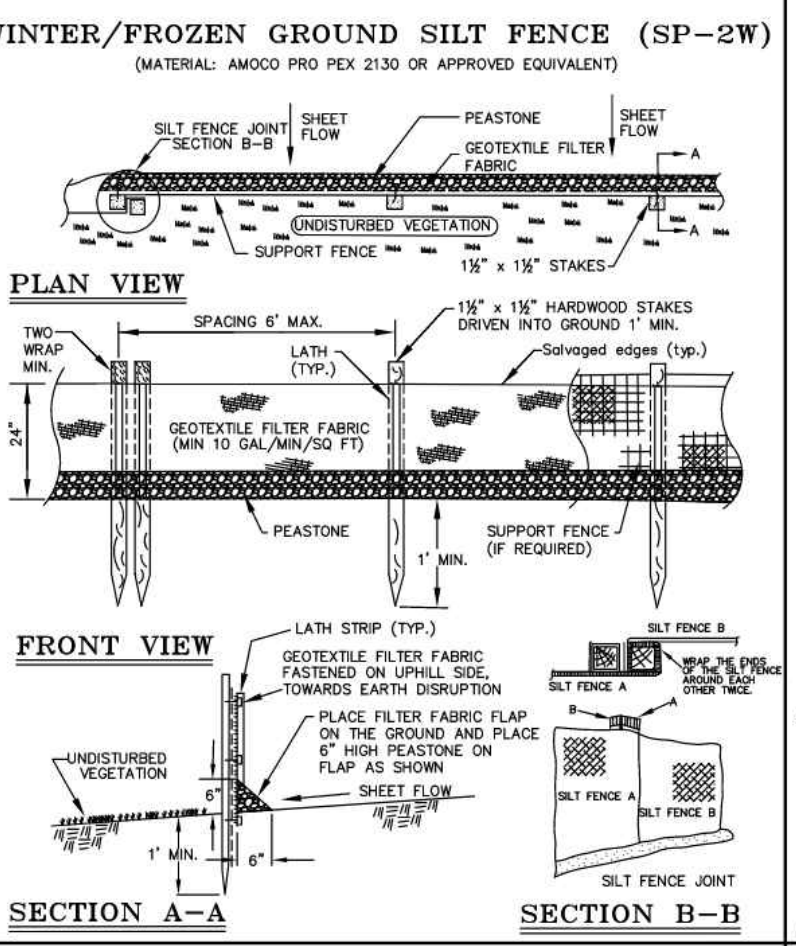
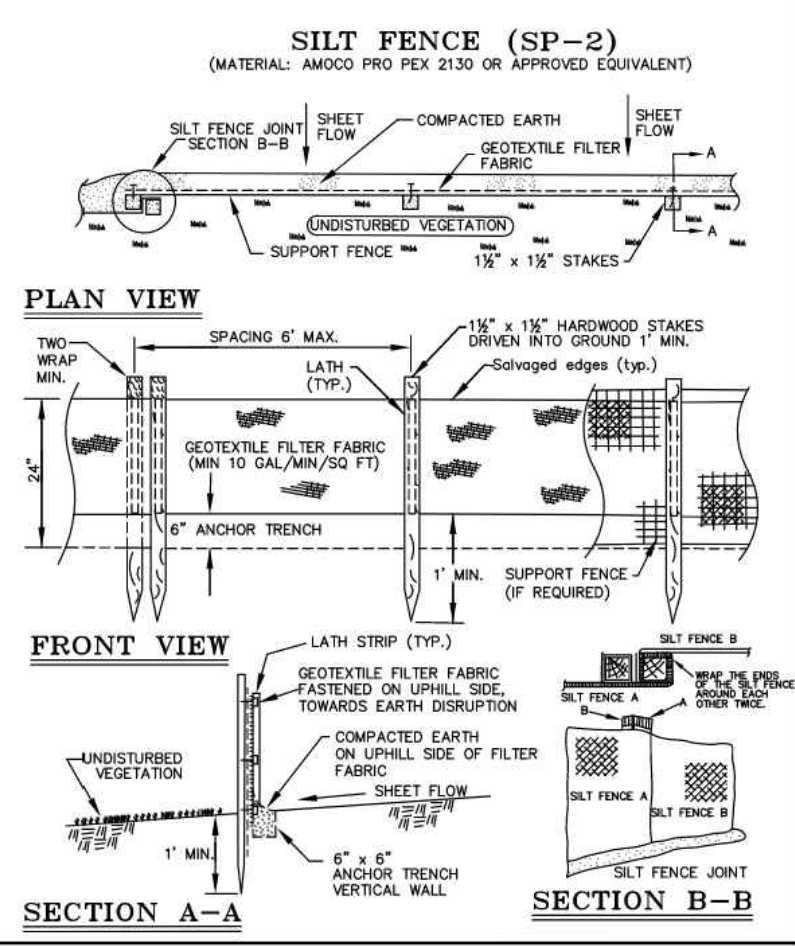
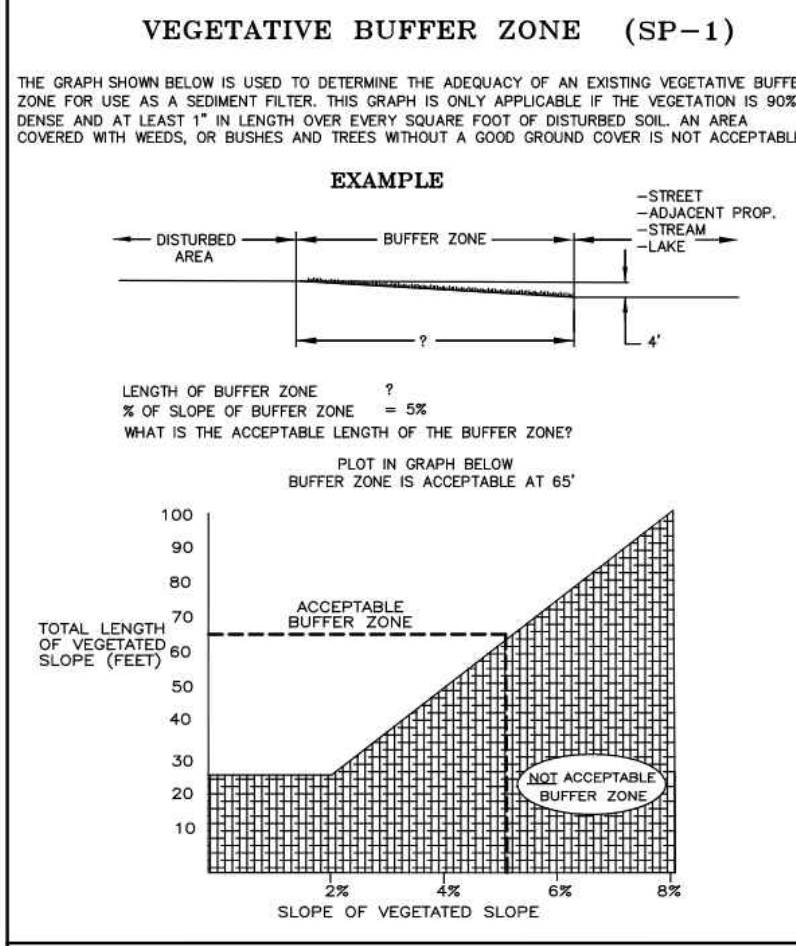
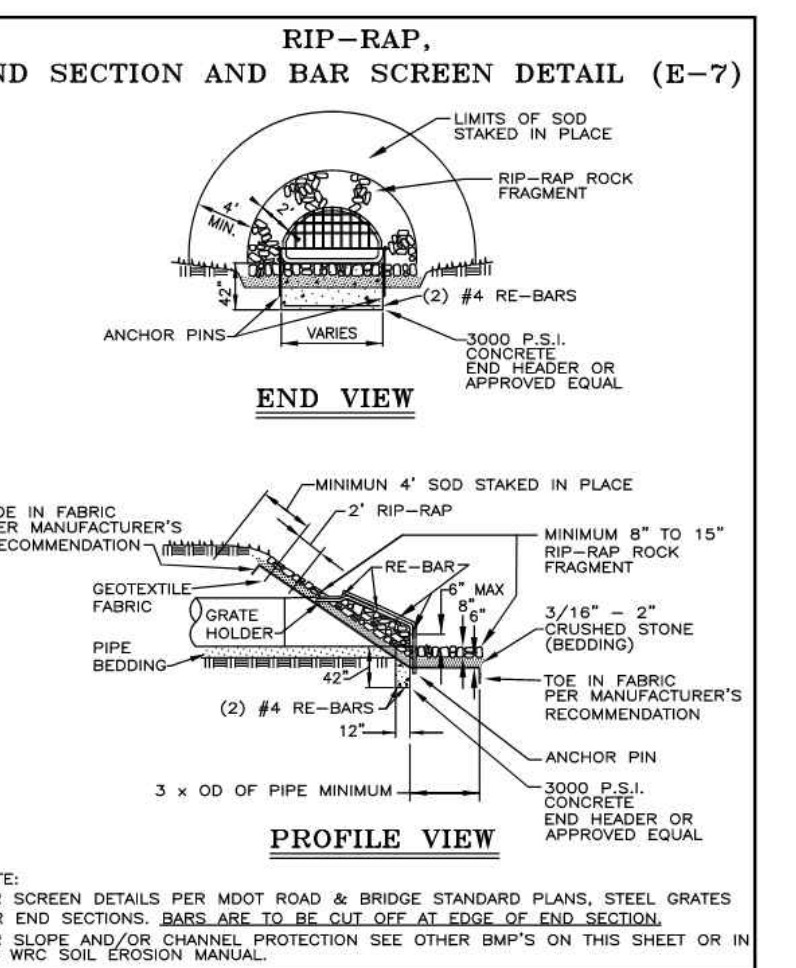
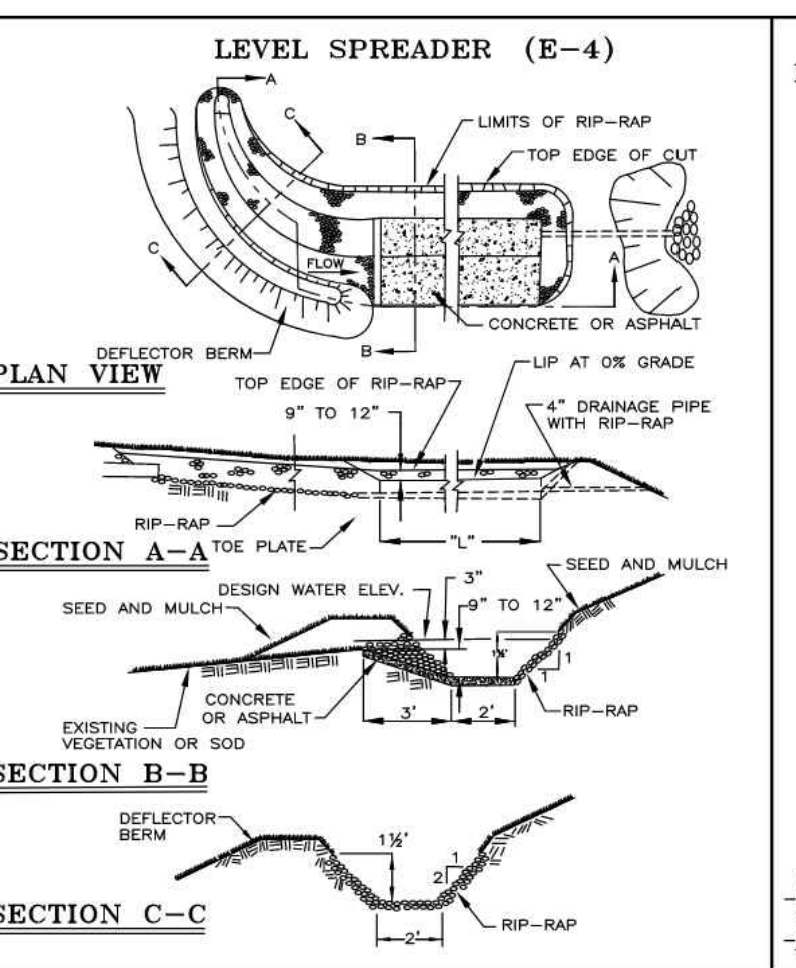
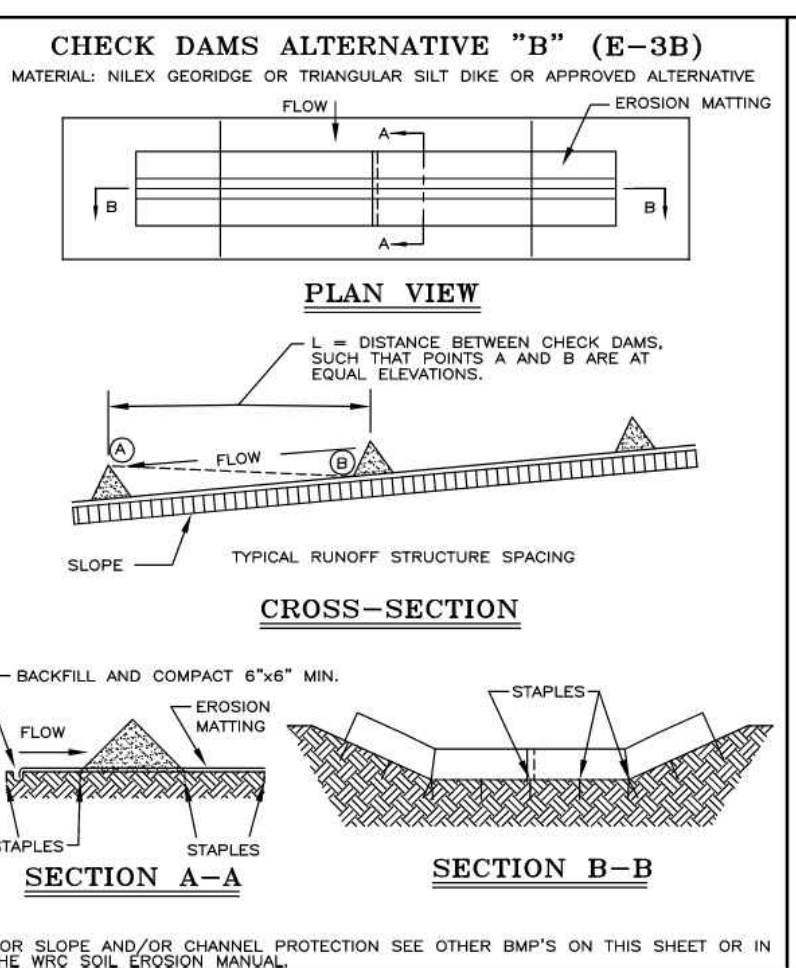
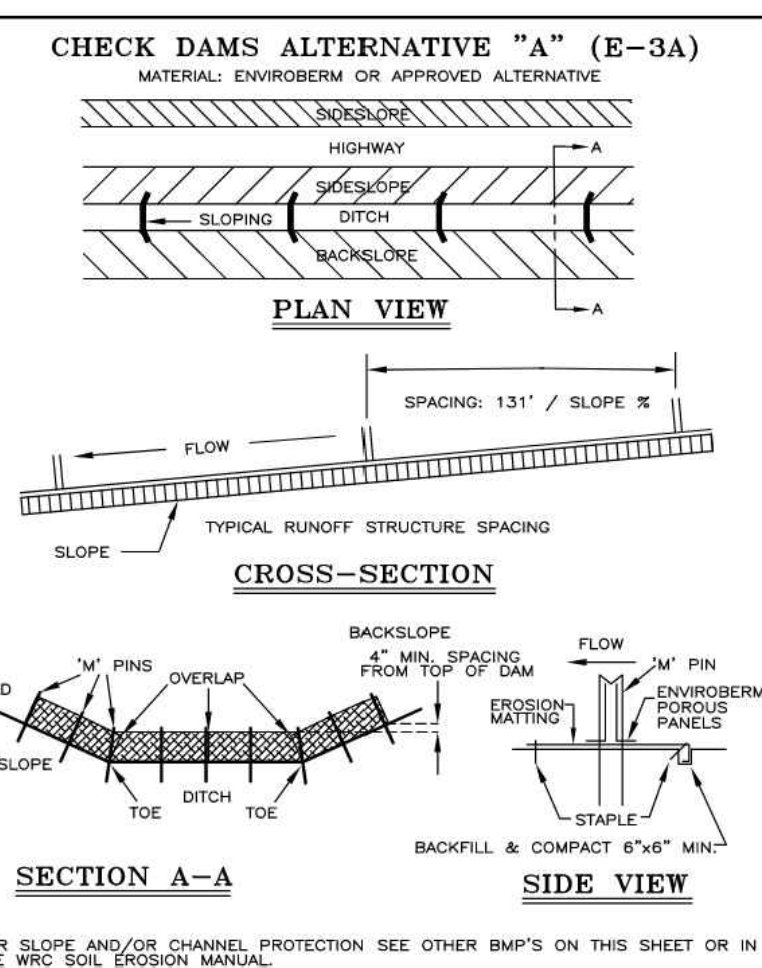
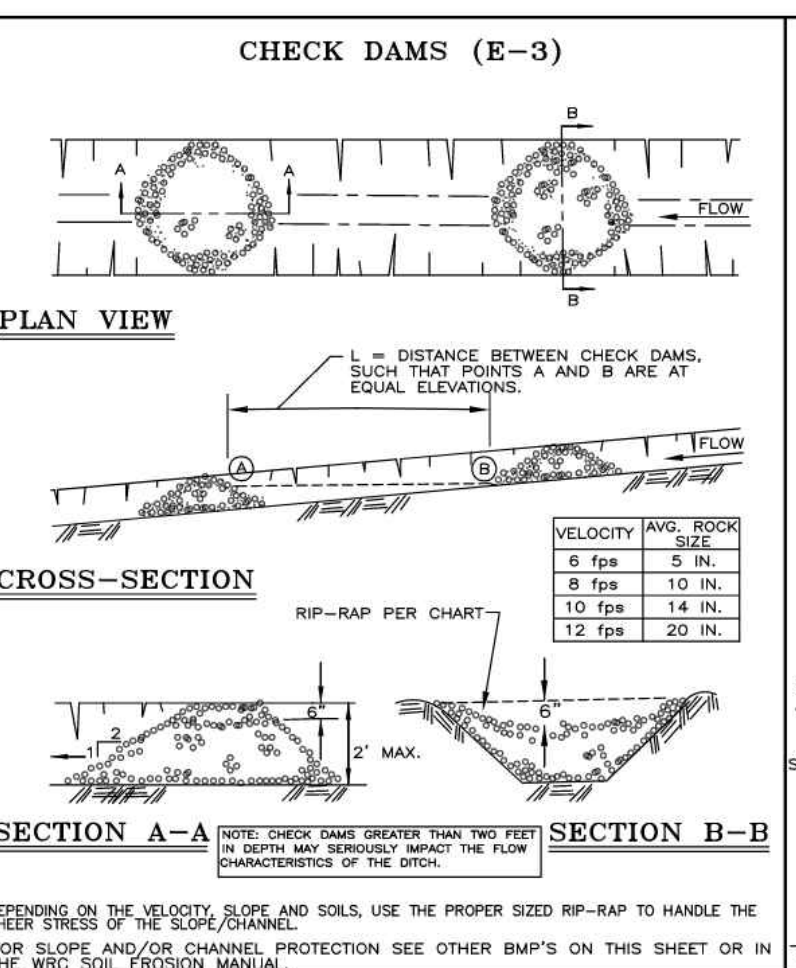
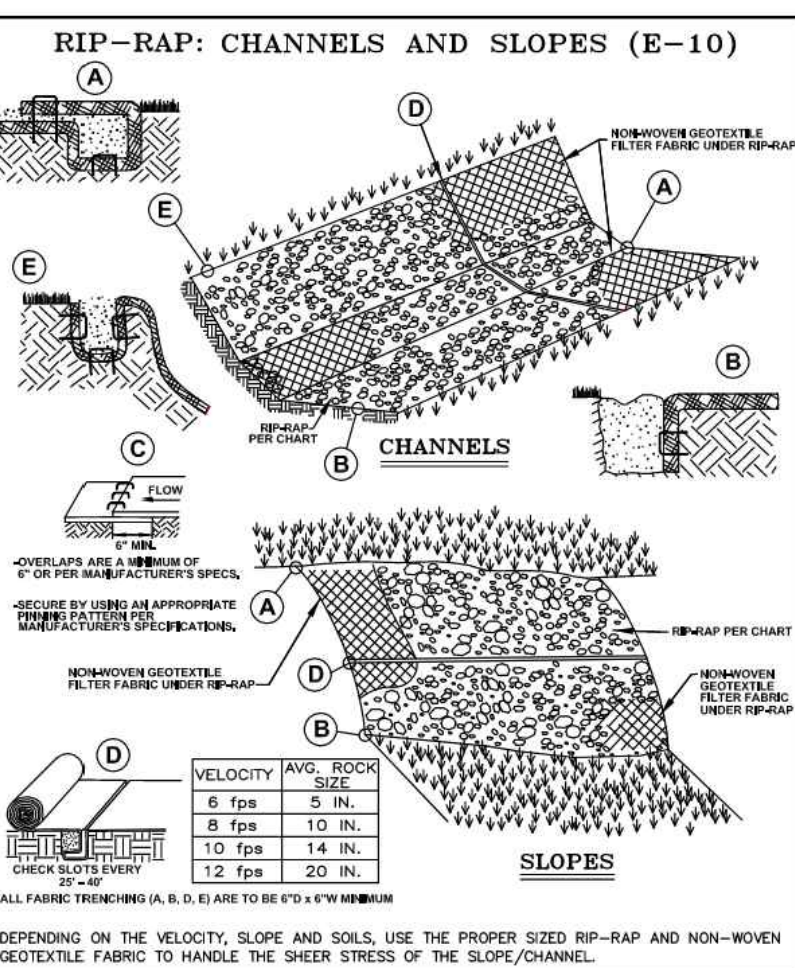
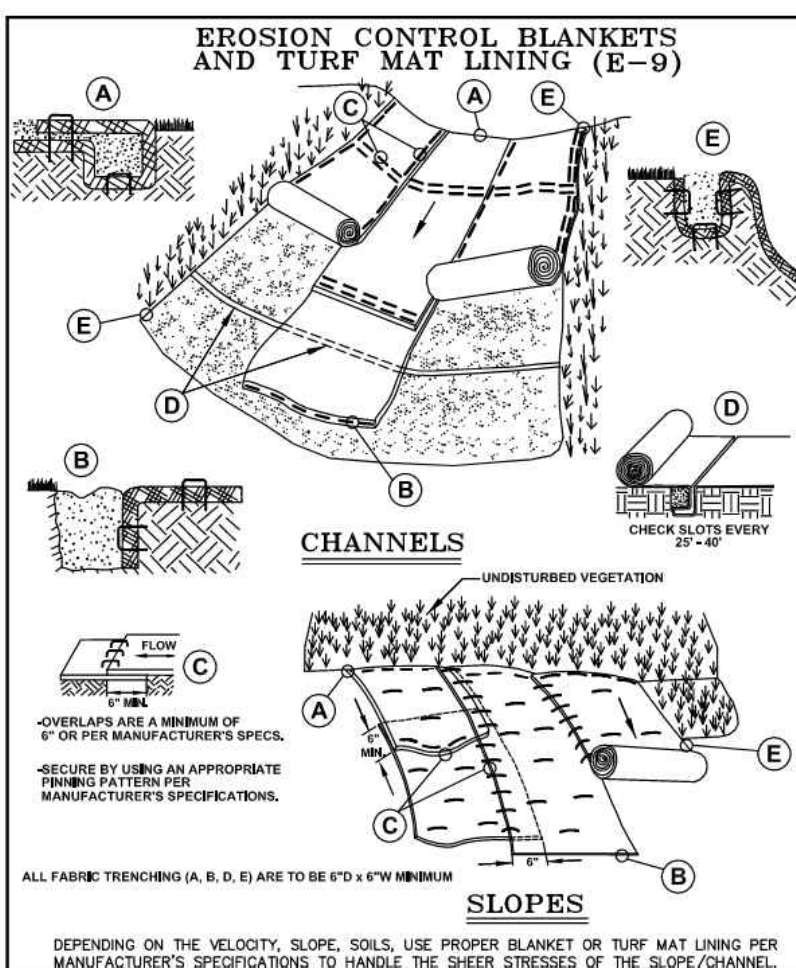
**MILLER AND PARKDALE REG STATION
 2026 CONSTRUCTION**

EXISTING SURVEY AND REMOVALS

FIELD AREA: ROYAL OAK
 PROJECT ID# STA. NO. DRAWING NO. SHEET REV.
 GM-01178 67-053 C-2529-PMT 03

SCALE: 1" = 10'
 DO NOT SCALE DRAWING USE DIMENSIONS ONLY





NOTE:

The Oakland County Water Resources Soil Erosion and Sedimentation Control standard details cannot be modified, reduced, edited, or changed in any way. Any deviation from these standard details must be approved in writing by the Oakland County Water Resources Commissioner. Changes otherwise made are in violation of Part 91 of Act 451 of 1994, the Natural Resources and Environmental Protection Act.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REVISION BLOCK

NO.	DATE	BY	DESCRIPTION

ORIG. DATE: 01/01/01
SCALE: NONE
DESIGNED BY: WRC
DRAWN BY: MapInfo

ONE PUBLIC WORKS OFFICE, 1100 S. WEST WATERFORD, MICHIGAN 48320

811 Know what's below. Call before you dig. www.call811.com

CAUTION

IF INSTALLATION CANNOT BE COMPLETED AS DESIGNED CONTACT PROJECT ENGINEER BEFORE PROCEEDING

ORIGINAL DRAWING #	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGNER	PEER REV.	DATE	DESCRIPTION

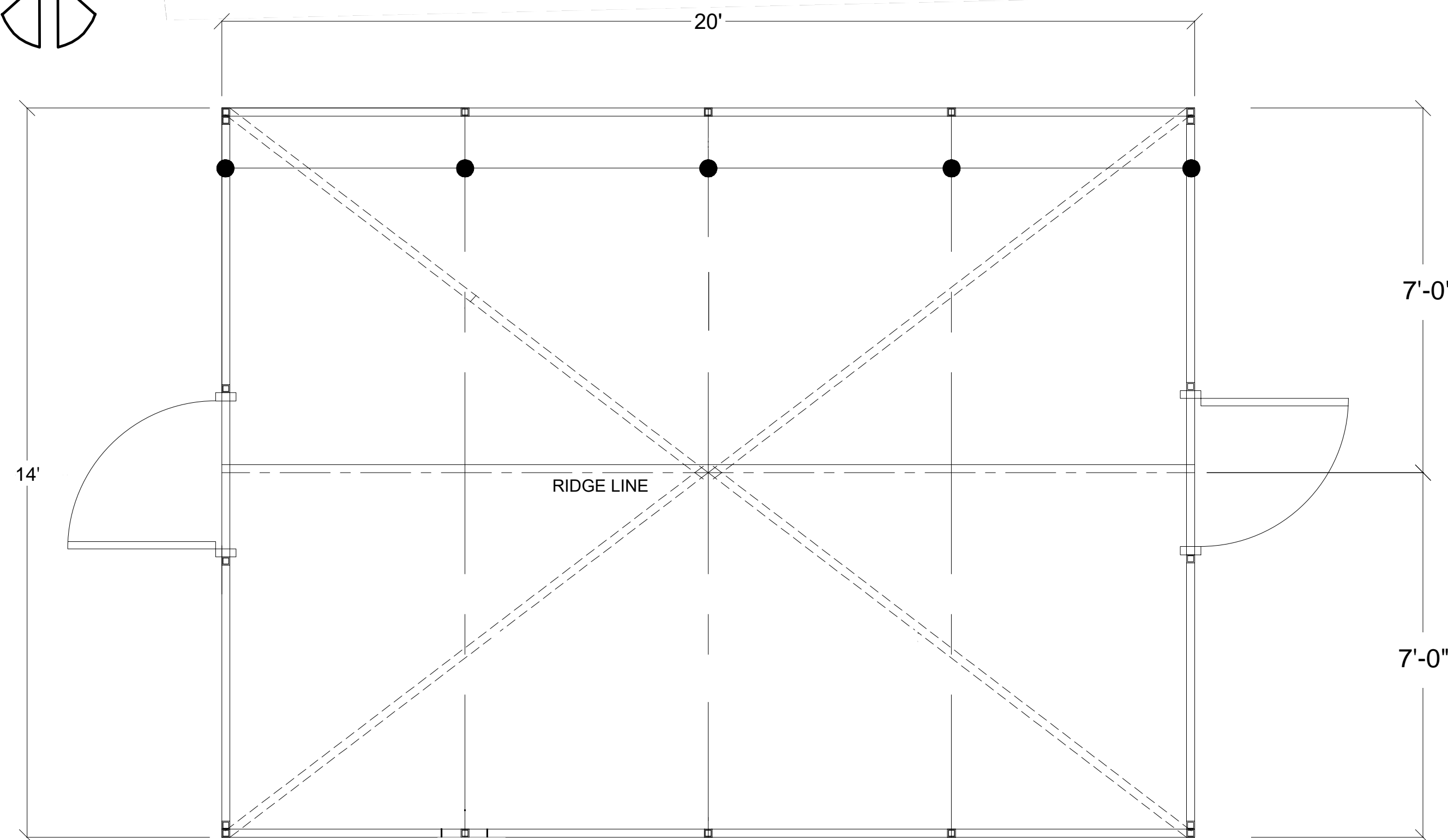
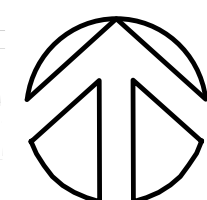
DESIGNER: J. ELIZANDO DATE: APRIL 2026
ENGINEER: K. LAMBERT DATE: APRIL 2026
PEER REV: K. LAMBERT DATE: APRIL 2026
DESIGN APPROVAL: D. SCOTT DATE: APRIL 2026
ENGINEER APPROVAL: A. TRENT DATE: APRIL 2026

ROWE PROFESSIONAL SERVICES COMPANY
Consumers Energy
Count on Us®
GEO-SPATIAL & GAS ASSET MANAGEMENT
GAS METER AND REGULATION DEPARTMENT

MILLER AND PARKDALE REG STATION
2026 CONSTRUCTION
OCWRC SESC DETAILS

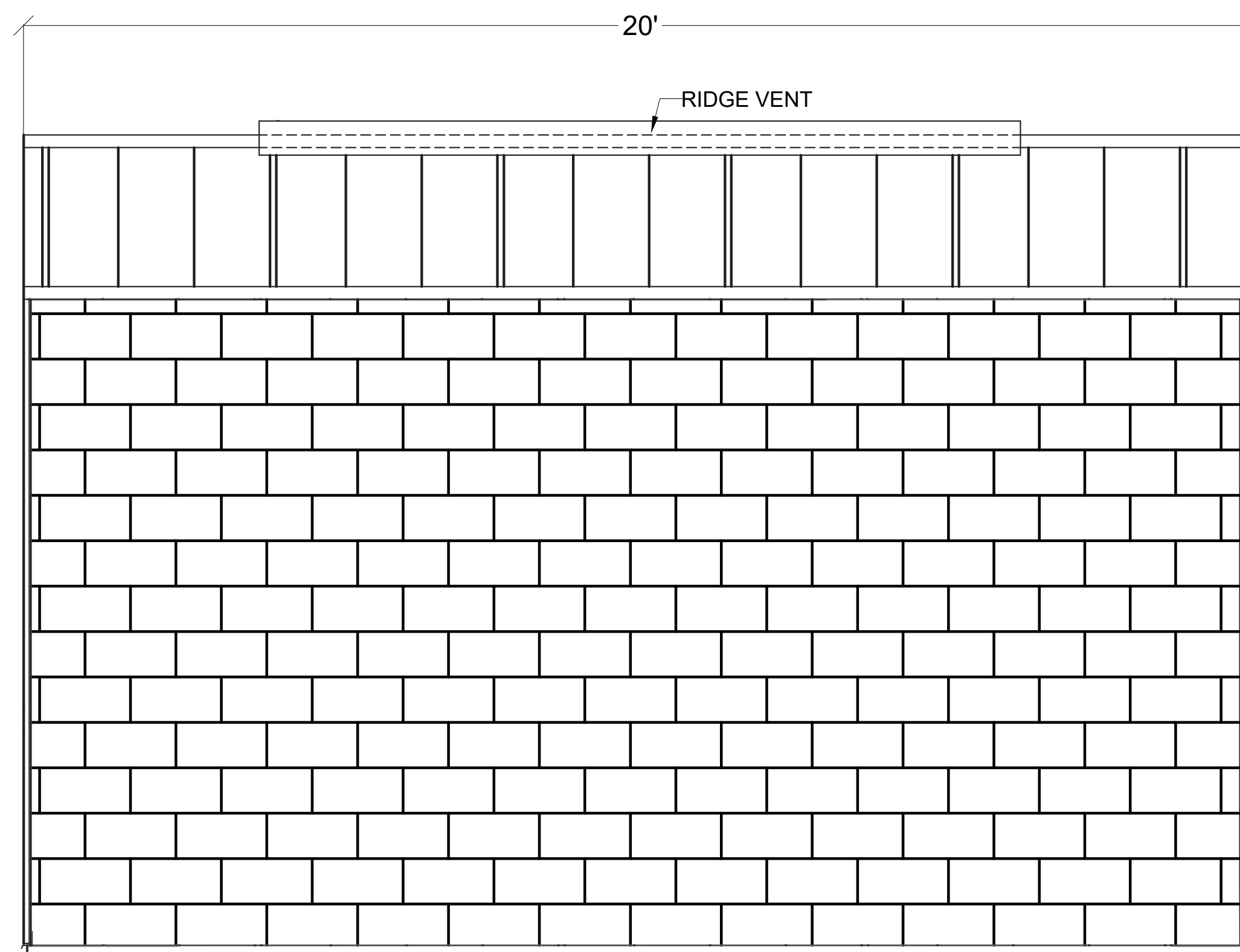
FIELD AREA: ROYAL OAK
PROJECT ID: GM-01178
STA. NO: 67-053
DRAWING NO: C-2529-PMT
SHEET: 08

FILE: 670063-C-2529-PMT-07.DWG
SCALE: NONE
RASTER FILE: GM-01178-67-053-C-2529-PMT-08



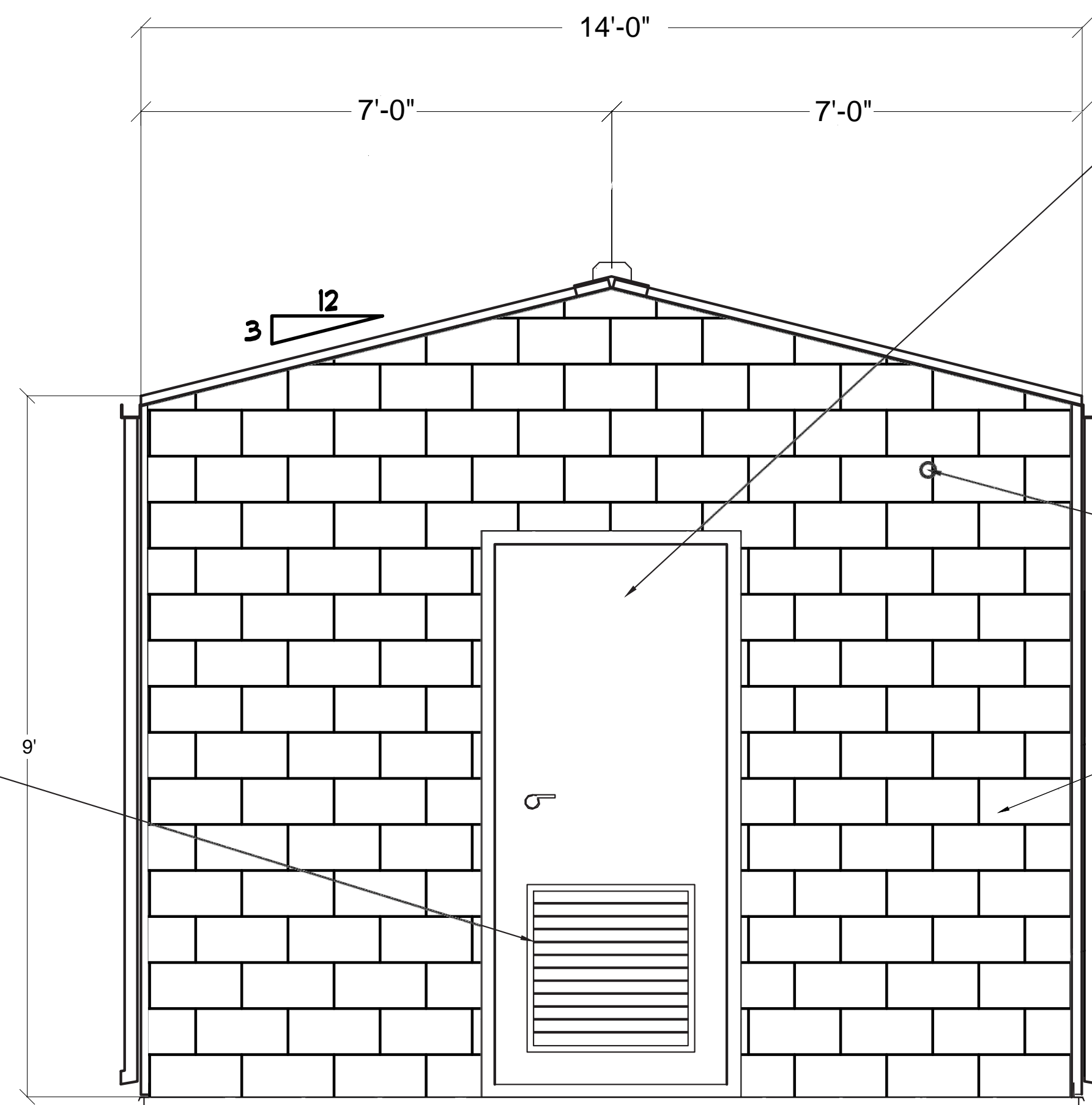
FLOOR / ROOF FRAMING PLAN

N.T.S.



NORTH EXTERIOR ELEVATION

N.T.S.



EAST EXTERIOR ELEVATION

N.T.S.

METAL DOORS AND FRAME, PAINT TO MATCH THE EXTERIOR METAL SIDING AND WHITE INTERIOR

3"X5" GUTTERS & DOWNSPOUTS PER MFG. STANDARD DETAIL (TYP. BOTH SIDES)

2" VENT HEADER WITH FLASHING COLLAR. FIELD FIT

NICHIHA VINTAGE BRICK COLOR: WHITE WASH INSTALL OVER INVERTED R-PANEL

24"X24" LOUVERS WITH MESH SCREENS

2% SLOPE

2% SLOPE



CAUTION
IF INSTALLATION CANNOT BE COMPLETED AS DESIGNED CONTACT PROJECT ENGINEER BEFORE PROCEEDING

ORIGINAL DRAWING #

REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGNER	ENG. APP.	REV.	PROJECT ID	DATE	DESCRIPTION			
								B	4/9/2026	UPDATE SITE PLAN PER CITY REQUIREMENTS	JSE	KEL	KEL	DAS
								A	3/30/2026	SITE PLAN SUBMITTAL	SJT	KEL	DAS	

DESIGNER	J. ELIZANDO	DATE	APRIL 2026
ENGINEER	K. LAMBERT	DATE	APRIL 2026
PEER REV	K. LAMBERT	DATE	APRIL 2026
DESIGN APPROVAL	D. SCOTT	DATE	APRIL 2026
ENGINEER APPROVAL	A. TRENT	DATE	APRIL 2026

ROWE PROFESSIONAL SERVICES COMPANY

Consumers Energy
Count on Us®

GEO-SPATIAL & GAS ASSET MANAGEMENT
GAS METER AND REGULATION DEPARTMENT

FILE: 670063-C-2529-PMT-08.DWG
RASTER FILE:

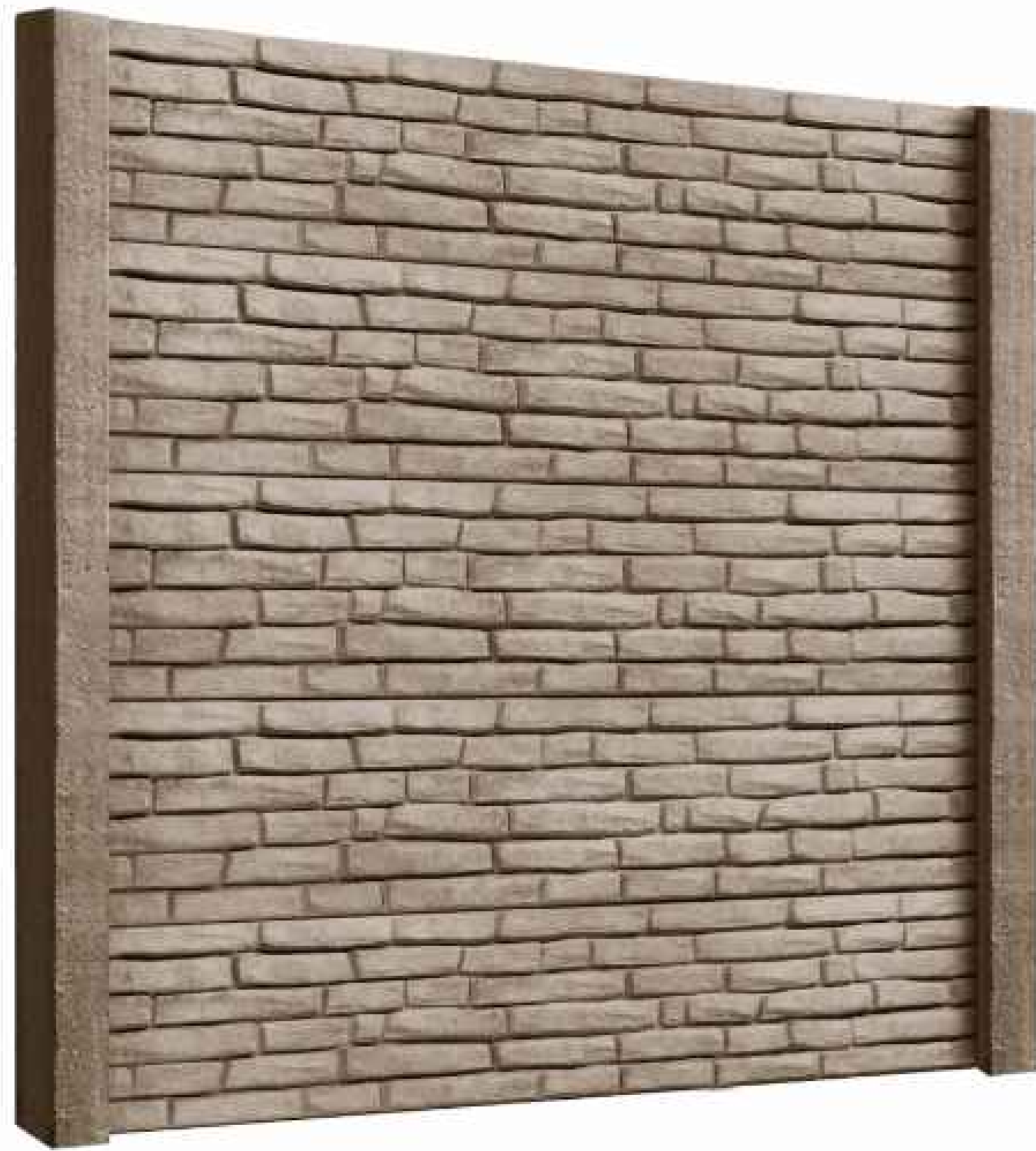
SCALE: NONE

MILLER AND PARKDALE REG STATION 2026 CONSTRUCTION

BUILDING PLAN AND ELEVATION VIEW

FIELD AREA: ROYAL OAK
PROJECT ID# STA. NO. DRAWING NO. SHEET REV.

GM-01178 67-053 C-2529-PMT 10



CONCRETE WALL EXAMPLE
NOT TO SCALE



ORNAMENTAL FENCE EXAMPLE
NOT TO SCALE



FILTER SEPARATOR EXAMPLE
NOT TO SCALE



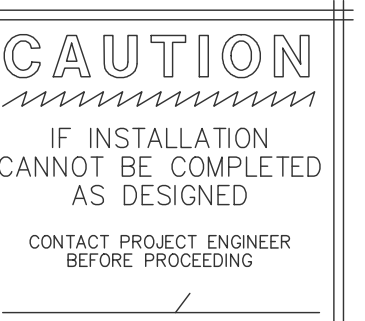
PROPOSED HEATER EXAMPLE
NOT TO SCALE



RTU AND LIGHT FIXTURE EXAMPLE
NOT TO SCALE



BUILDING EXAMPLE
NOT TO SCALE



ORIGINAL DRAWING #

REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGN APP.	ENG APP.	REV.	PROJECT ID	DATE	DESCRIPTION	DESIGNER	PEER REV.	DESIGN APP.	ENG APP.
								B	4/9/2026		UPDATE SITE PLAN PER CITY REQUIREMENTS	JSE	KEL	KEL	DAS
								A	3/30/2026		SITE PLAN SUBMITTAL	SJT	KEL	DAS	

DESIGNER	J. ELIZANDO	DATE	APRIL 2026
ENGINEER	K. LAMBERT	DATE	APRIL 2026
PEER REV	K. LAMBERT	DATE	APRIL 2026
DESIGN APPROVAL	D. SCOTT	DATE	APRIL 2026
ENGINEER APPROVAL	A. TRENT	DATE	APRIL 2026

		MILLER AND PARKDALE REG STATION 2026 CONSTRUCTION	
		PHOTO EXAMPLES	
GEO-SPATIAL & GAS ASSET MANAGEMENT GAS METER AND REGULATION DEPARTMENT		FIELD AREA: ROYAL OAK PROJECT ID# STA. NO. DRAWING NO. SHEET REV	
FILE: 670063-C-2529-PMT-09.DWG RASTER FILE:		GM-01178 67-053 C-2529-PMT 11	
SCALE: NONE		DO NOT SCALE DRAWING USE DIMENSIONS ONLY	



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

May12, 2026

TO: Zoning Board of Appeals

RE: Staff Report - ZBA Case 929 W. University

Dt. Khaldoun Tarabin of Alpine Dental, a tenant in 929 W. University Drive's multi-tenant Office Building, is seeking a waiver to allow a second sign to be installed on the site. The property is located on the south side of W. University at the intersection with Helen Ave, zoned O-2 Restricted Office, sidwell Parcel 15-15-128-036. The specific waiver being sought is as follows:

- The petitioner is requesting to install a wall sign on the street frontage portion of the building facing W. University Drive in addition to the existing ground sign on the site, within the O-2, Restricted Office District, which only allows one sign per site. **Section 2205 (A).**
1. The site contains 0.285 acres of land, with a frontage of 70 feet along Romeo Road and has a varied depth of 266.66 feet. It is an extremely challengingly shaped lot which renders the northern portion of the site unable to be used for anything but a landscape buffer.
 2. The Planning Commission approved the site plan conditionally due to the fact that the only way to provide an ADA compliant handicapped parking space at grade would be to construct it in the front yard setback along the Romeo Road frontage, which is prohibited by the Zoning Ordinance.
 3. The previous business, (the Village Lamp Shop), had a grand-fathered in Hcp. parking space in the front yard for decades. In order to use one of the designated parking spots on the side or rear of the building for a barrier free space, the route to traverse to the at grade entrance to the new building would require the user to navigate down the driveway to get to the front of the building, a major safety issue.
 4. The purpose of not allowing the front yard setback area for parking was to promote landscaping along the adjacent thoroughfare. In this case, even if a portion of the front yard is permitted for the Hcp. space, they still have provided a Landscape area between the Public sidewalk and their front of the building along the eastern portion of the front yard area.

Sincerely,

Nik Banda

Nik Banda
City Manager & Economic Development Director



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

ZONING BOARD OF APPEALS APPLICATION FOR HEARING

Date Filed: 4/30/26 Amount of Fee Paid: \$ 500
Location of Property: 929 West University Rochester 48307
APPELLANT: Dr Khalidoun Tarabin
Address: 929 West University Rochester, MI 48307
Phone: (248) 470-6337 E-MAIL: KHALDOUN4@MSM.COM
OWNER: same
Address: _____
Phone: _____ E-MAIL: _____

DEADLINES:

- The completed Application for Hearing must be received by the City Clerk no later than Noon, three (3) weeks prior to the next regular meeting of the Zoning Board of Appeals.
 - If the time limit is met, the City will make a reasonable effort to schedule consideration of said plan during the next regular meeting of the Zoning Board of Appeals.
 - Submittals received after the cut-off time will be placed on the agenda of the subsequent meeting.
- Note: The Zoning Board of Appeals normally meets the fourth Wednesday of each month at 7:00 P.M. in the Municipal Building, 400 Sixth Street. Please check the City website for the date of each meeting.*

REQUIREMENTS:

- Provide all required documentation and check to the City Clerk.
- Provide DIGITAL & 10 COPIES of the blueprint drawings of the site plan (pre-folded to ¼ size with the blueprint seal on the outside).
- Provide DIGITAL & 10 COPIES of the completed Application.
- Provide DIGITAL & 10 COPIES of correspondence and any written documents.
- Provide a check payable to the City of Rochester in the amount of \$500.00.
- Provide DIGITAL blueprints, application, correspondence and any written documents to the City Manager's Office at citymanager@rochestermi.org.

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE ZONING BOARD OF APPEALS MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE ZBA MEMBERS.

ROCHESTER
Where you live.

To the Members of the Zoning Board of Appeals
City of Rochester, Michigan

Re: Request for Sign Variance: 929 W. University Drive, Alpine Dental

Dear Members of the Zoning Board of Appeals,

I respectfully submit this letter on behalf of Alpine Dental regarding our request for approval to install a second business identification sign at 929 W. University Drive in Rochester, Michigan.

There's an existing sign (3 SQF Only) that's part of 14 SQF monument sign.

We're seeking to install 27.7 SQFT Second sign on the building facing W. University Dr. side.

The proposed sign is essential to the visibility, safety, and successful operation of our dental practice. We are requesting consideration for a variance due to the unique conditions of the property and the practical difficulties associated with the current signage limitations.

Alpine Dental provides important healthcare services to the community, serving families, seniors, children, and patients requiring timely dental care. As a healthcare provider, clear visibility and wayfinding are especially important. Many of our patients are elderly, new to the area, or visiting under urgent circumstances, and difficulty locating the office can create unnecessary stress and confusion.

There are several factors supporting this request:

1. Limited Visibility from West University Drive

The property's visibility from the roadway is restricted due to traffic flow, surrounding development, landscaping, and the positioning of the building on the site. Without adequate signage, the business is difficult to identify for passing motorists, particularly during high-traffic periods.

2. Patient Safety and Accessibility

Patients attempting to locate the office often slow down abruptly, miss the entrance, or make unsafe turns after passing the property. A properly placed and appropriately sized sign would improve traffic flow and reduce confusion, ultimately enhancing public safety.

3. Identification Rather Than Advertising

The proposed sign is intended strictly for professional identification and wayfinding purposes, not excessive advertising. The design will remain tasteful, professional, and consistent with the character of the surrounding area and the City of Rochester's aesthetic standards.

4. Hardship Due to Site Conditions

The unique layout and positioning of the property create a practical difficulty not shared equally by neighboring properties with greater frontage visibility or more prominent placement. Without effective signage, the business experiences a disadvantage in being reasonably identified by the public.

5. Benefit to the Community

Alpine Dental is committed to being a long-term contributor to the Rochester community by providing quality dental care, maintaining a professional property appearance, and supporting local economic activity. Allowing appropriate signage helps ensure patients can easily access needed healthcare services.

6. Minimal Impact on Surrounding Properties

The proposed sign will not negatively affect neighboring businesses or residential properties. It will be designed to complement the corridor aesthetically and will not obstruct sight lines or create visual clutter. Similar nearby properties already have comparable signage.

We respectfully ask the Board to consider the practical need for this sign and the positive impact it will have on accessibility, patient experience, and business viability. We are committed to complying with any reasonable conditions regarding size, lighting, placement, or design to ensure the sign aligns with the City's standards and expectations.

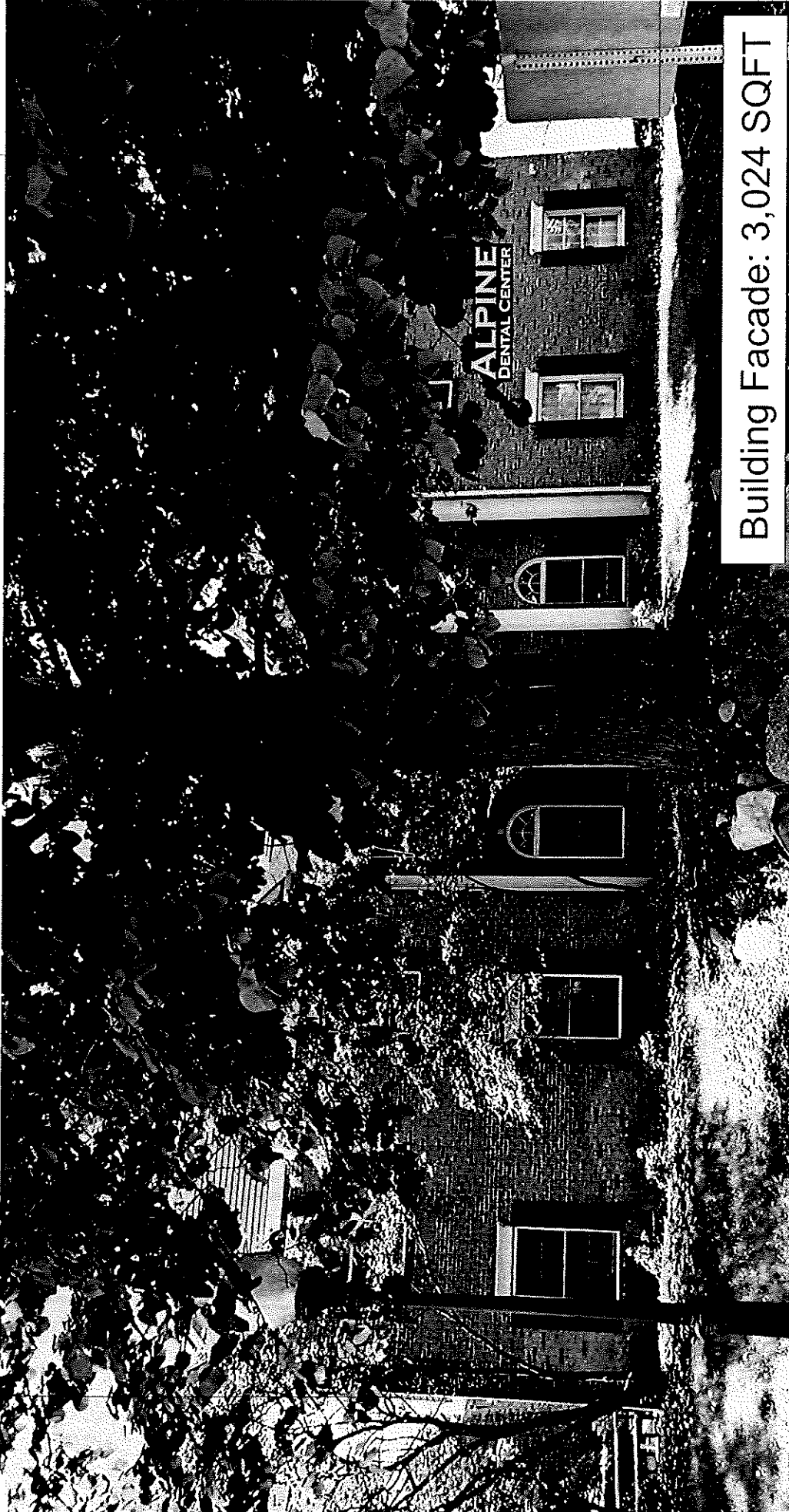
Thank you for your time, consideration, and service to the community. We greatly appreciate the opportunity to present this request and look forward to working cooperatively with the City of Rochester.

Sincerely,



Dr. Khaldoun Tarabin
Alpine Dental
929 W. University Drive
Rochester, MI 48307

84'



Building Facade: 3,024 SQFT

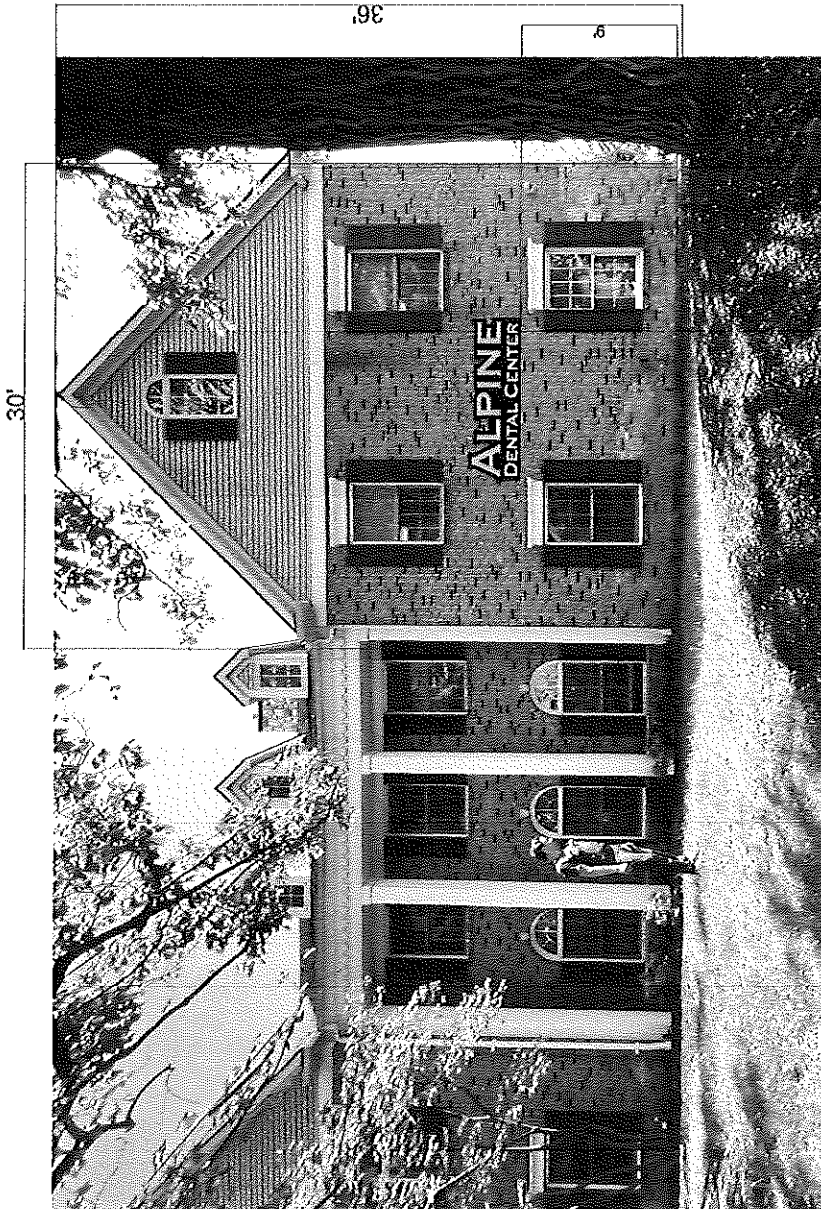
PROJECT: Channel Letter Sign
 TITLE: Alpine Dental Center
 Address: 292 W. University Dr
 DATE: 8/3/2024 PROJECT #: 5888

**Ultimate
 SIGNS**

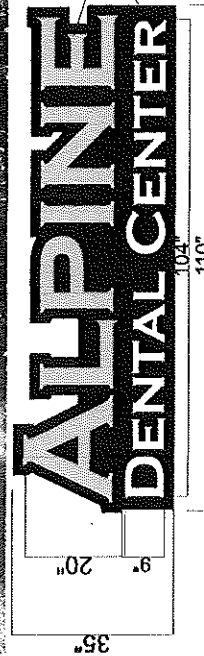
THESE DRAWINGS ARE PROPERTY OF UB DESIGN INC. AND ARE NOT TO BE USED FOR FABRICATION OR REPRODUCTION WITHOUT APPROVAL. THESE ARE SOLELY FOR THE PURPOSE OF DESIGN INTENT.

COPYRIGHT ©2018

8827 Mark Twain Detroit, MI 48228 313-522-4700 Fax 313-724-2456



Channel Letters
 Black contour cut dibond
 reverse lit behind dibond



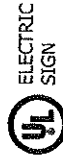
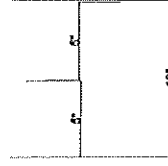
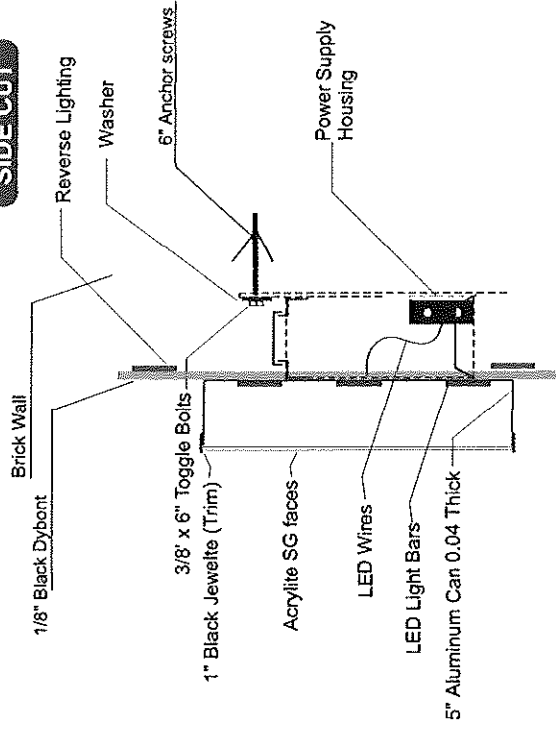
PROJECT: Channel Letter Sign

TITLE: Alpine Dental Center

Address: 292 W. University Dr

DATE: 8/3/2024 PROJECT #: 5888

SIDE CUT

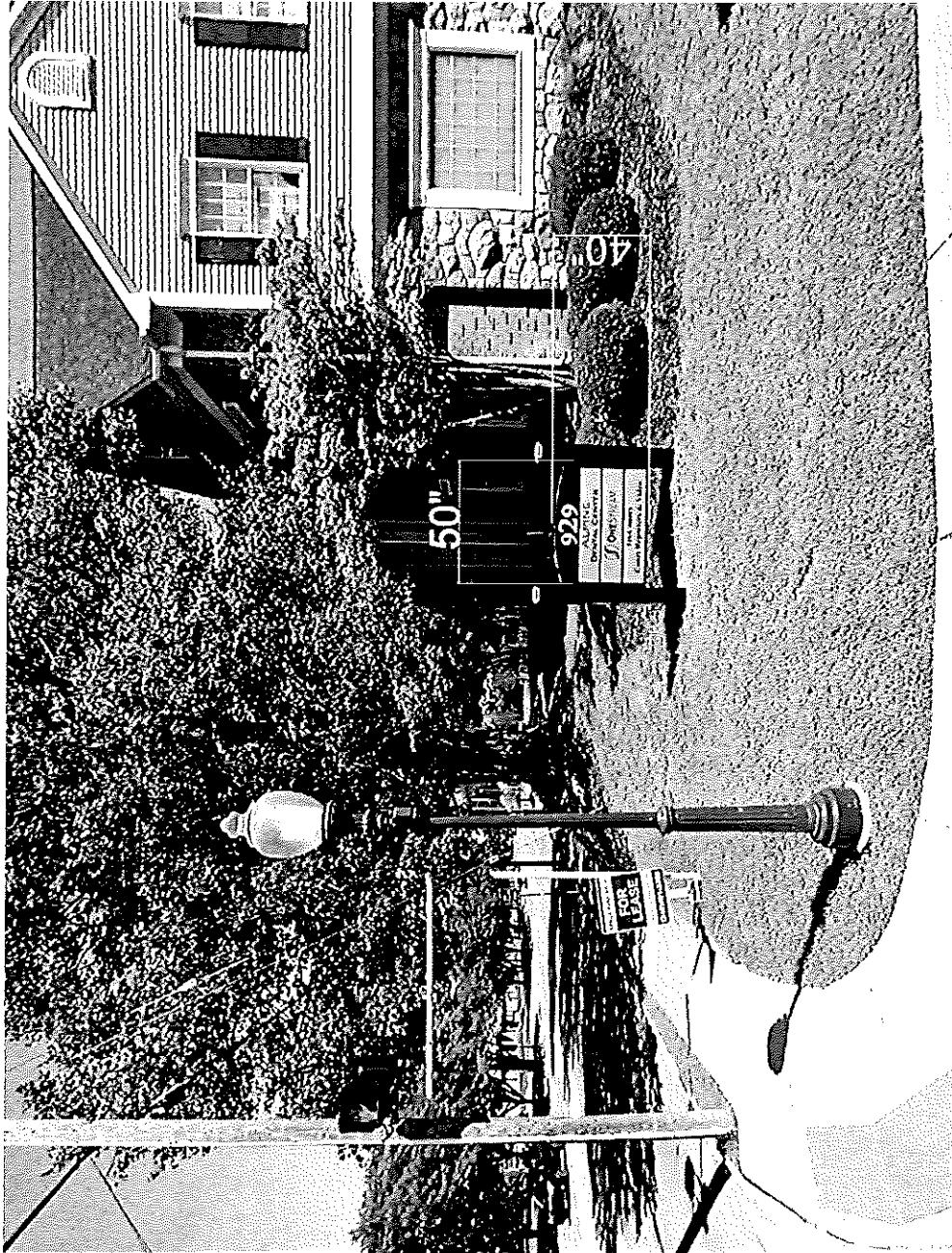


Proposed sign: 26.7 SQFT

THESE DRAWINGS ARE PROPERTY OF UB DESIGN INC. AND ARE NOT TO BE USED FOR FABRICATION OR REPRODUCTION WITHOUT APPROVAL. THESE ARE SOLELY FOR THE PURPOSE OF DESIGN INTENT.

COPYRIGHT ©2018

8827 Mark Twain Detroit, MI 48228 313-522-4700 Fax 313-724-2456



Existing Sign: 14 SQFT

Ultimate SIGNS

PROJECT: Channel Letter Sign
 TITLE: Alpine Dental Center
 Address: 292 W. University Dr
 DATE: 8/3/2024 PROJECT #: 5888

THESE DRAWINGS ARE PROPERTY OF UB DESIGN INC. AND ARE NOT TO BE USED FOR FABRICATION OR REPRODUCTION WITHOUT APPROVAL. THESE ARE SOLELY FOR THE PURPOSE OF DESIGN INTENT.

COPYRIGHT ©2018
 8827 Mark Twain Detroit, MI 48228 313-522-4700 Fax 313-724-2456



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

May12, 2026

TO: Zoning Board of Appeals

RE: Staff Report - ZBA Case 307 Highland Ave.

Mr. Timothy A. Doyle, owner of 307 Highland Avenue, is seeking a variance in order to remove an existing non-conforming garage and replace it with a new 2 car garage. The property is located on the north side of Highland Avenue between Mahaffy Avenue and Inglewood Avenue, zoned R-1, One Family Residential, Sidwell Parcel 15-11-158-016. The specific waiver being sought is as follows:

- A waiver of 2 feet of the required 5-foot side yard setback for an Accessory Structure, **Section 2102**, of the City's Zoning Ordinance. (5 Feet required, 3 feet proposed), in a R-1, One Family Residential District.
1. The site contains 0.15 acres of land, with a frontage of 50 feet along Highland Avenue and has a depth of 135 feet. The property has an existing non-conforming garage on it as it is only set back 3 feet from the property line when the minimum required side yard setback in the R-1 zoning classification is 5 feet.
 2. They are requesting to remove the existing garage and replace it with a new two-car garage that would be at the same 3-foot setback as the existing garage. They site multiple surrounding properties that have existing 3-foot setbacks on their side yards as was their previous garage. That condition exists because for years the required setback for accessory buildings was only 3 feet on an interior side lot line until the City changed the requirements to the now 5-foot setback.

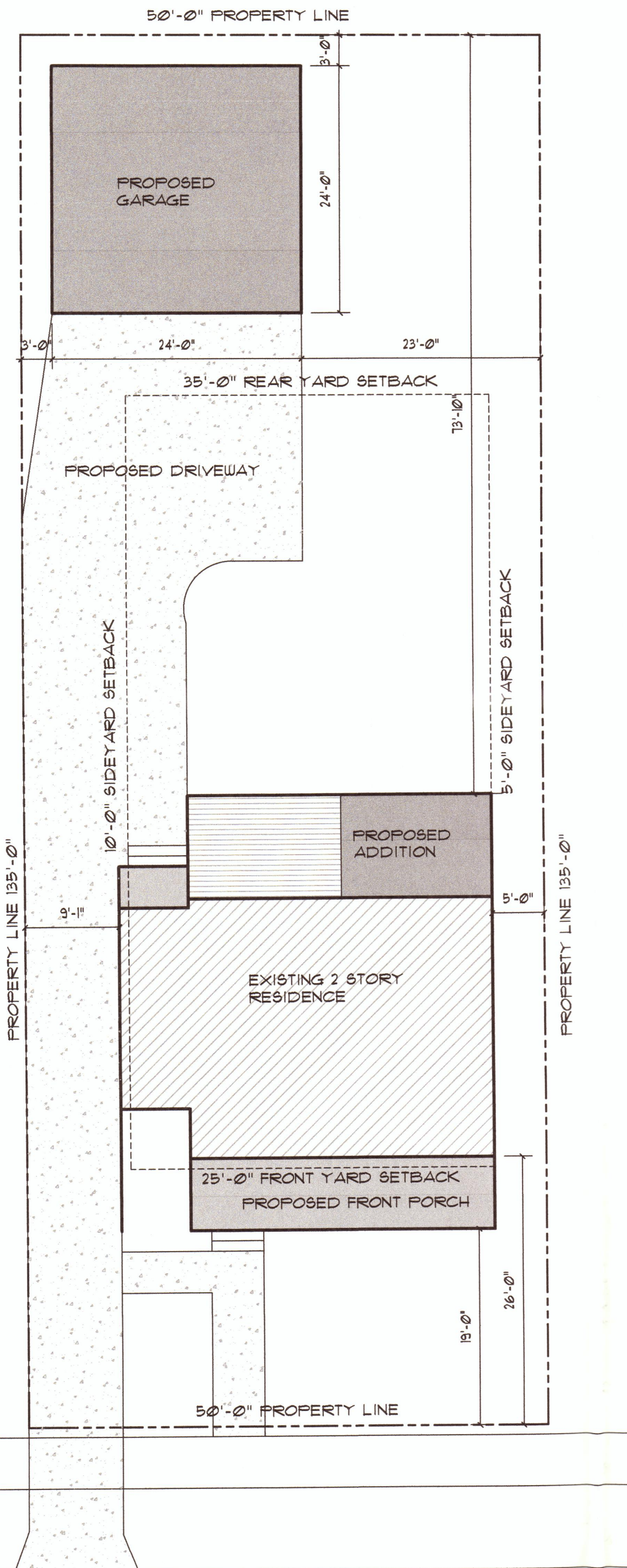
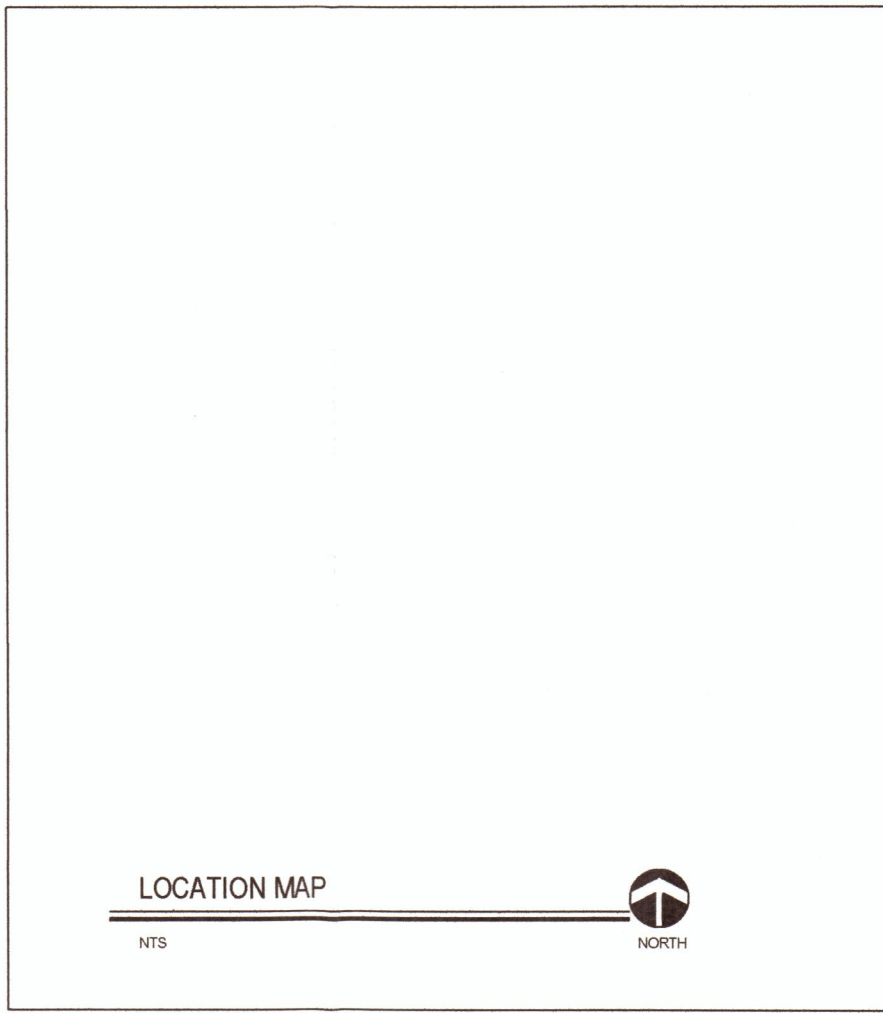
Sincerely,

Nik Banda

Nik Banda
City Manager & Economic Development Director

PROPOSED DESIGN FOR: DOYLE RESIDENCE

307 HIGHLAND ST., ROCHESTER, MI.

PROPOSED SITE PLAN	ZONING REQUIREMENTS	INDEX OF DRAWINGS	LOCATION MAP																												
 <p>50'-0" PROPERTY LINE</p> <p>PROPOSED GARAGE</p> <p>24'-0"</p> <p>3'-0"</p> <p>24'-0"</p> <p>23'-0"</p> <p>35'-0" REAR YARD SETBACK</p> <p>PROPOSED DRIVEWAY</p> <p>13'-0"</p> <p>10'-0" SIDERYARD SETBACK</p> <p>5'-0" SIDERYARD SETBACK</p> <p>PROPOSED ADDITION</p> <p>EXISTING 2 STORY RESIDENCE</p> <p>25'-0" FRONT YARD SETBACK</p> <p>PROPOSED FRONT PORCH</p> <p>18'-0"</p> <p>26'-0"</p> <p>5'-0" PROPERTY LINE</p> <p>PROPERTY LINE 135'-0"</p> <p>PROPERTY LINE 135'-0"</p> <p>HIGHLAND RD. 60'-0" R.O.W.</p> <p>PROPOSED SITE PLAN</p> <p>1" = 10'-0"</p> <p>NORTH</p>	<p>LEGAL DESCRIPTION:</p> <p>ZONING = R-1</p> <p>SETBACKS:</p> <p>FRONT = 25'-0"</p> <p>SIDE = 5'-0" AND TOTAL OF 15'-0"</p> <p>REAR = 35'-0"</p> <p>SITE COVERAGE:</p> <p>30% MAXIMUM</p> <table border="1"> <thead> <tr> <th>SITE COVERAGE</th> </tr> </thead> <tbody> <tr> <td>SITE AREA = 6,150 SF</td> </tr> <tr> <td>30% OF SITE = 2,025 SF</td> </tr> <tr> <td>TOTAL SITE COVERAGE = 1,891 SF</td> </tr> </tbody> </table>	SITE COVERAGE	SITE AREA = 6,150 SF	30% OF SITE = 2,025 SF	TOTAL SITE COVERAGE = 1,891 SF	<p>T100 COVER SHEET</p> <p>G100 GARAGE PLANS AND DETAILS</p> <p>N100 GENERAL NOTES</p> <p>STRUCTURAL</p> <p>S100 PROPOSED FOUNDATION AND FRAMING PLANS</p> <p>S101 PROPOSED FRAMING AND ROOF PLANS</p> <p>ARCHITECTURAL</p> <p>A100 EXISTING AND PROPOSED FLOOR PLANS</p> <p>A200 EXISTING AND PROPOSED ELEVATIONS</p> <p>A201 EXISTING AND PROPOSED ELEVATION</p> <p>A300 PROPOSED BUILDING SECTIONS</p> <p>A400 PROPOSED WALL SECTIONS</p>	 <p>LOCATION MAP</p> <p>NTS</p> <p>NORTH</p>																								
SITE COVERAGE																															
SITE AREA = 6,150 SF																															
30% OF SITE = 2,025 SF																															
TOTAL SITE COVERAGE = 1,891 SF																															
	<p>BUILDING CODE DATA</p> <p>2015 MICHIGAN RESIDENTIAL CODE</p> <p>2015 MICHIGAN UNIFORM ENERGY CODE</p> <p>USE AND OCCUPANCY CLASSIFICATION: R-3</p> <p>CONSTRUCTION TYPE: VB</p>		<p>DRAWING SYMBOLS</p> <table border="0"> <tr> <td></td> <td>ELEVATION MARKER</td> </tr> <tr> <td></td> <td>ROOM TAG # NUMBER</td> </tr> <tr> <td></td> <td>KEYNOTE</td> </tr> <tr> <td></td> <td>DOOR TAG</td> </tr> <tr> <td></td> <td>WINDOW TAG</td> </tr> <tr> <td></td> <td>COLUMN BUBBLE AND GRID LINE</td> </tr> <tr> <td></td> <td>PARTITION TYPE</td> </tr> <tr> <td></td> <td>WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</td> </tr> <tr> <td></td> <td>FOOTING SCHEDULE TAG</td> </tr> </table> <p>DRAWING NUMBER</p> <p>DRAWING OR DETAIL TITLE</p> <p>1 DRAWING NAME</p> <p>DRAWING SCALE</p> <p>1/4" = 1'-0"</p>		ELEVATION MARKER		ROOM TAG # NUMBER		KEYNOTE		DOOR TAG		WINDOW TAG		COLUMN BUBBLE AND GRID LINE		PARTITION TYPE		WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)		FOOTING SCHEDULE TAG										
	ELEVATION MARKER																														
	ROOM TAG # NUMBER																														
	KEYNOTE																														
	DOOR TAG																														
	WINDOW TAG																														
	COLUMN BUBBLE AND GRID LINE																														
	PARTITION TYPE																														
	WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)																														
	FOOTING SCHEDULE TAG																														
<p>SQUARE FOOTAGE</p> <p>EXISTING SF = 1432 SF</p> <p>PROPOSED SF = 394 SF</p> <p>TOTAL RESIDENCE SF = 1,826 SF</p>			<p>MATERIAL SYMBOLS LIST</p> <table border="0"> <tr> <td></td> <td>CONCRETE BLOCK</td> <td></td> <td>RIGID INSULATION</td> </tr> <tr> <td></td> <td>BRICK</td> <td></td> <td>GRAVEL</td> </tr> <tr> <td></td> <td>NEW PARTITION</td> <td></td> <td>UNDISTURBED EARTH</td> </tr> <tr> <td></td> <td>BATT OR BLOWN IN INSULATION</td> <td></td> <td>CONCRETE</td> </tr> <tr> <td></td> <td>STEEL</td> <td></td> <td>COMPACTED SAND</td> </tr> <tr> <td></td> <td>PLYWOOD</td> <td></td> <td>GYP BD</td> </tr> <tr> <td></td> <td>FINISHED WOOD</td> <td></td> <td></td> </tr> </table>		CONCRETE BLOCK		RIGID INSULATION		BRICK		GRAVEL		NEW PARTITION		UNDISTURBED EARTH		BATT OR BLOWN IN INSULATION		CONCRETE		STEEL		COMPACTED SAND		PLYWOOD		GYP BD		FINISHED WOOD		
	CONCRETE BLOCK		RIGID INSULATION																												
	BRICK		GRAVEL																												
	NEW PARTITION		UNDISTURBED EARTH																												
	BATT OR BLOWN IN INSULATION		CONCRETE																												
	STEEL		COMPACTED SAND																												
	PLYWOOD		GYP BD																												
	FINISHED WOOD																														

proposed design for:

DOYLE RESIDENCE

307 Highland Twp.
Rochester, MI

SHEET TITLE
PROPOSED
TITLE SHEET

DATE: 4-26-16
5-9-16
2-17-17
8-2-17
10-10-17

ISSUED FOR:
owner review
owner review
owner review
owner review
PERMIT/BIDDING

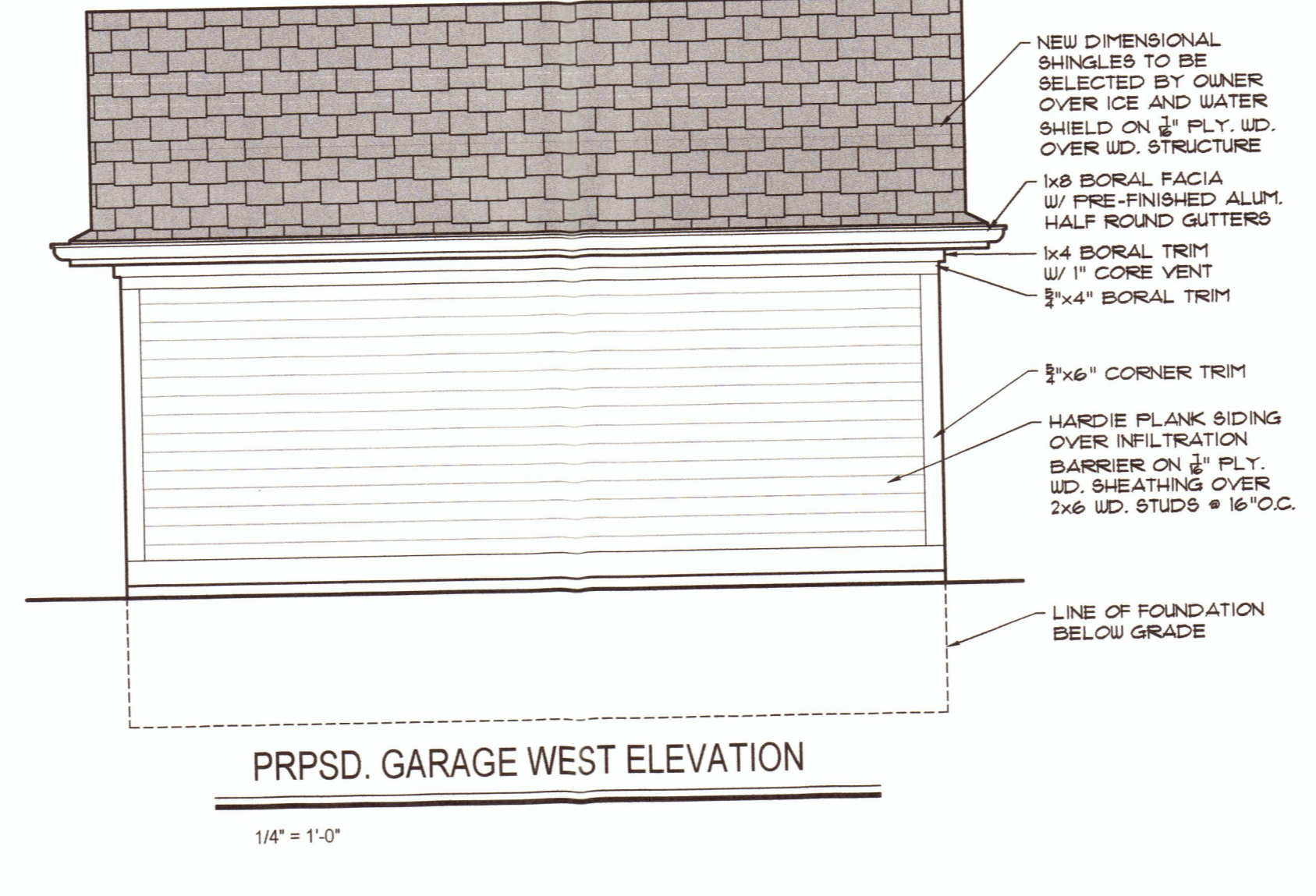
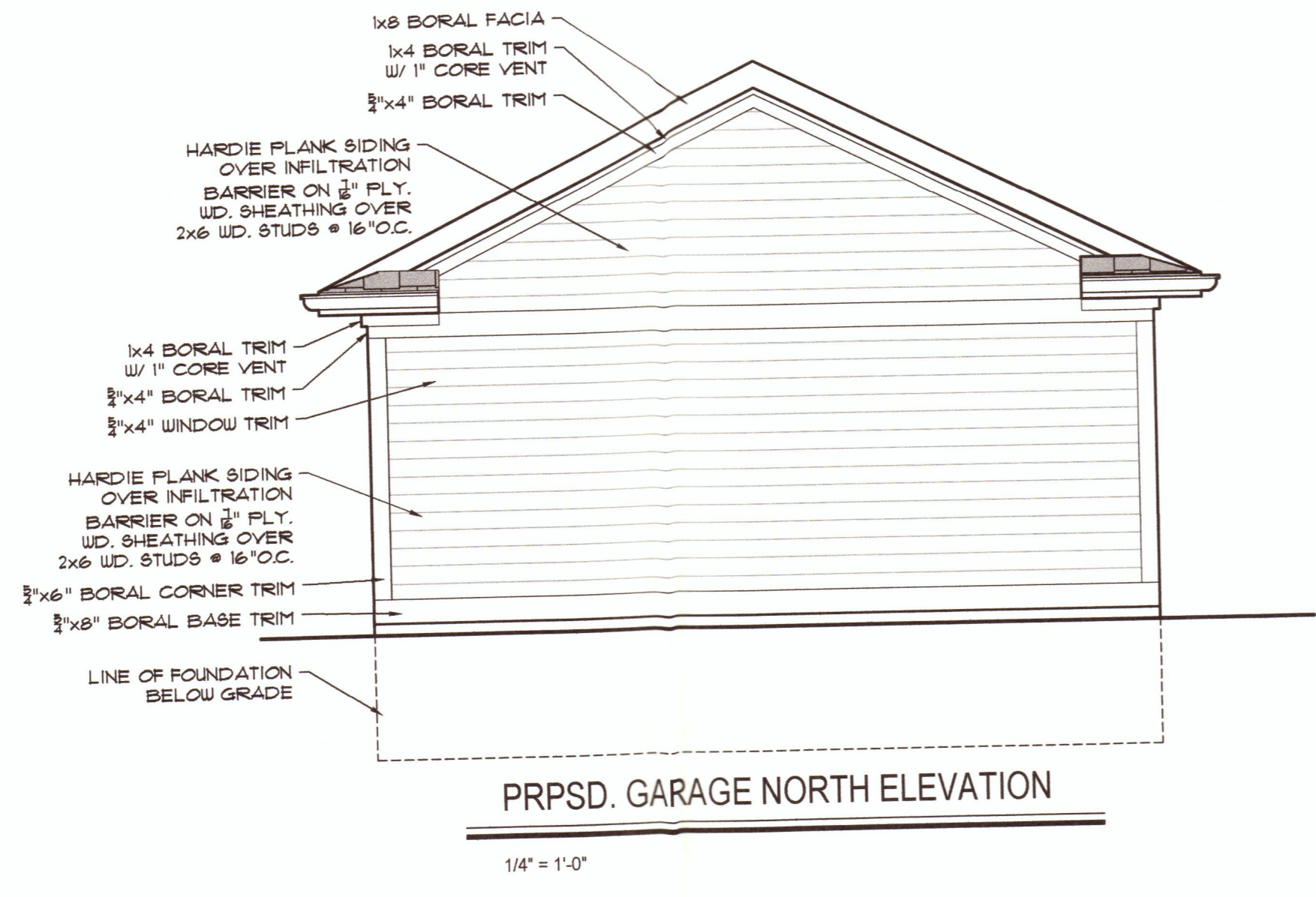
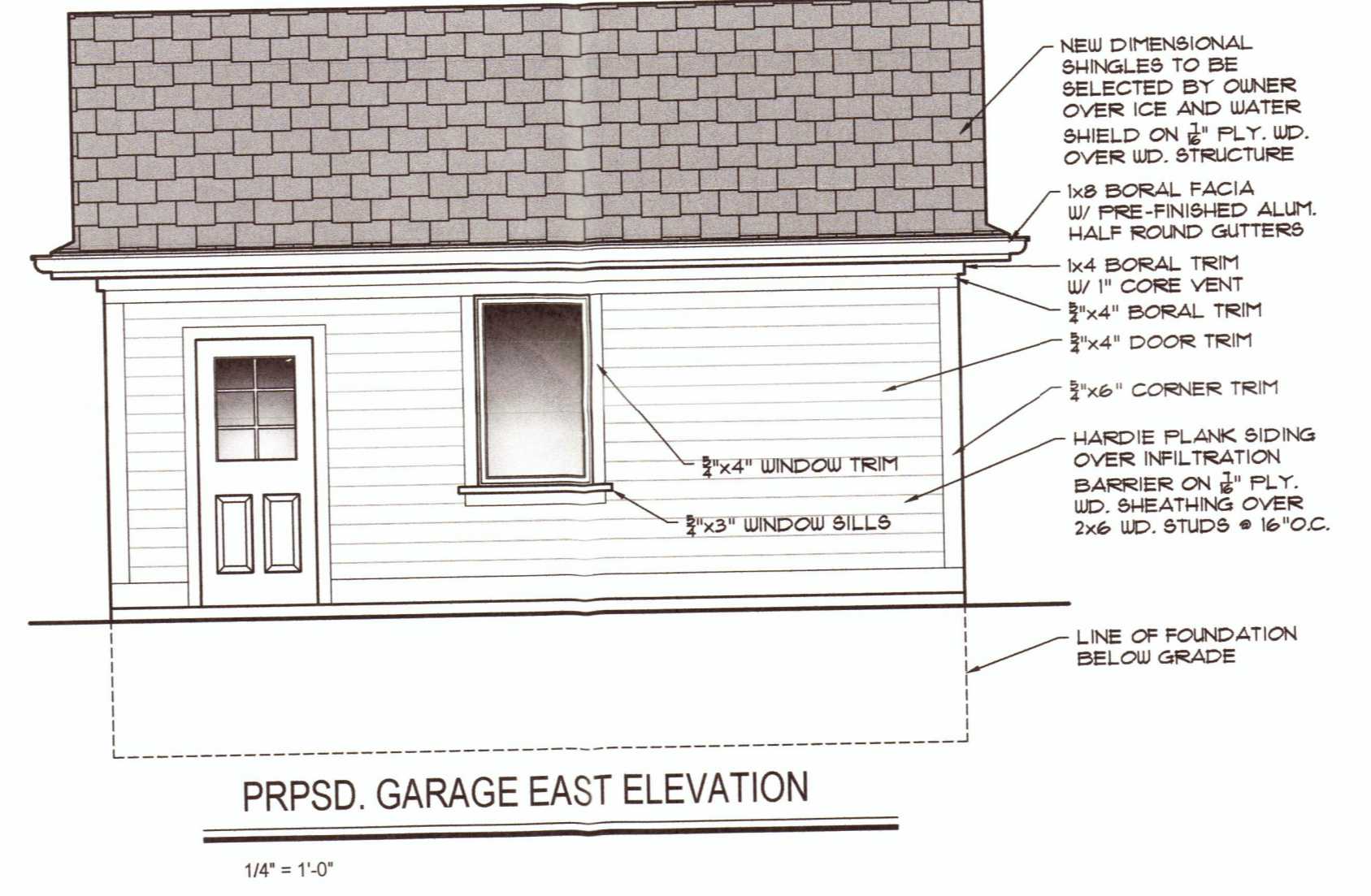
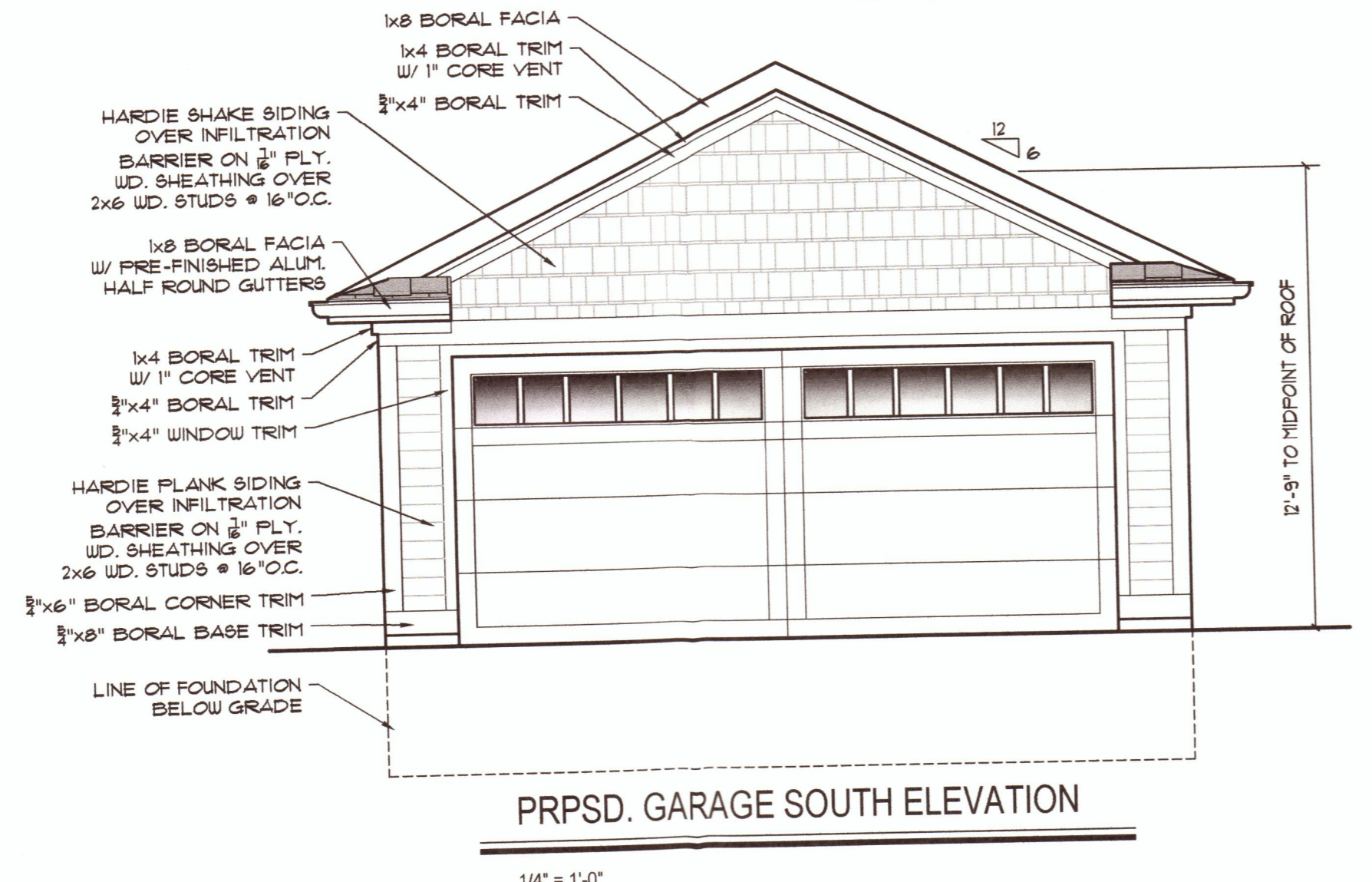
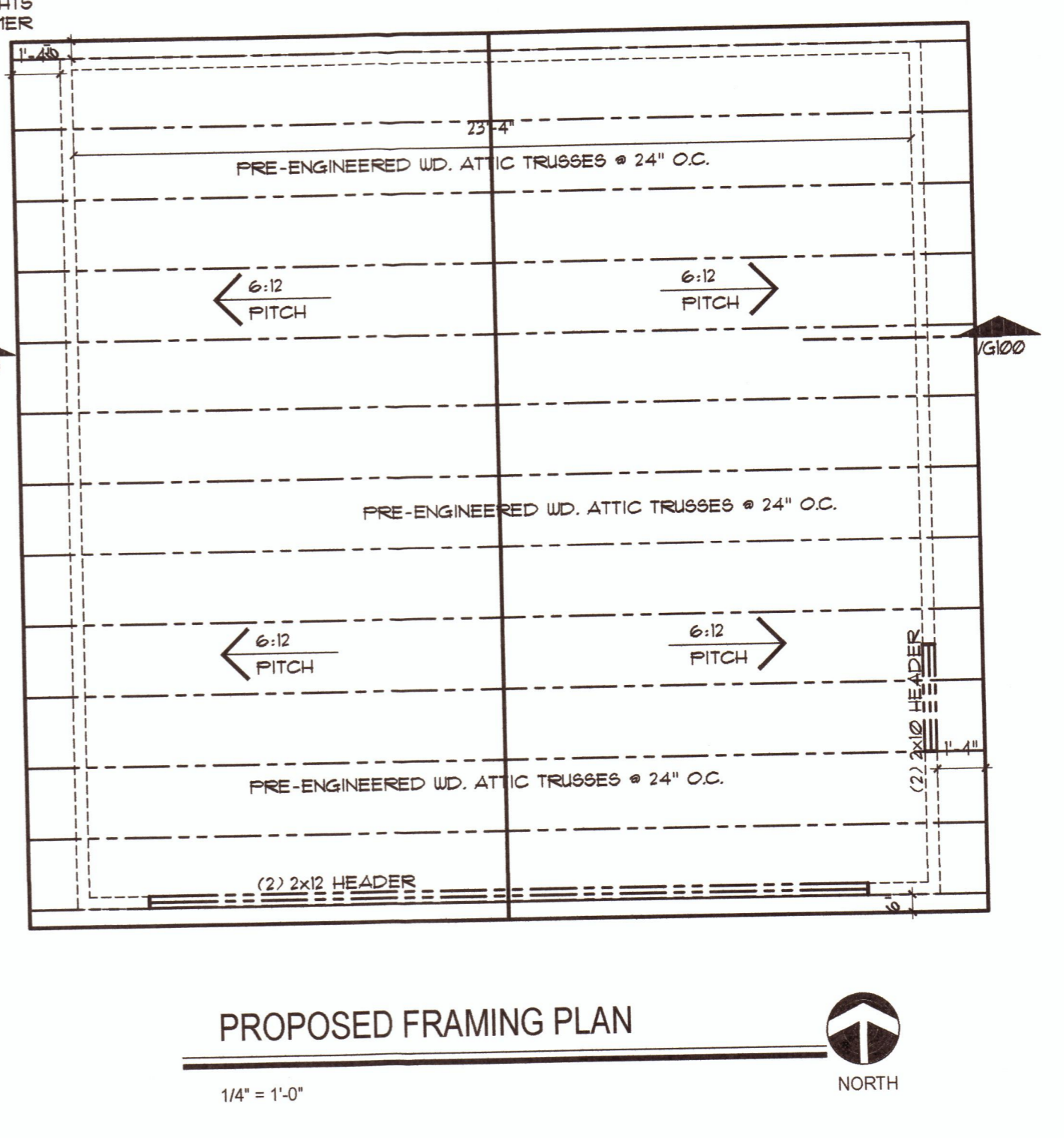
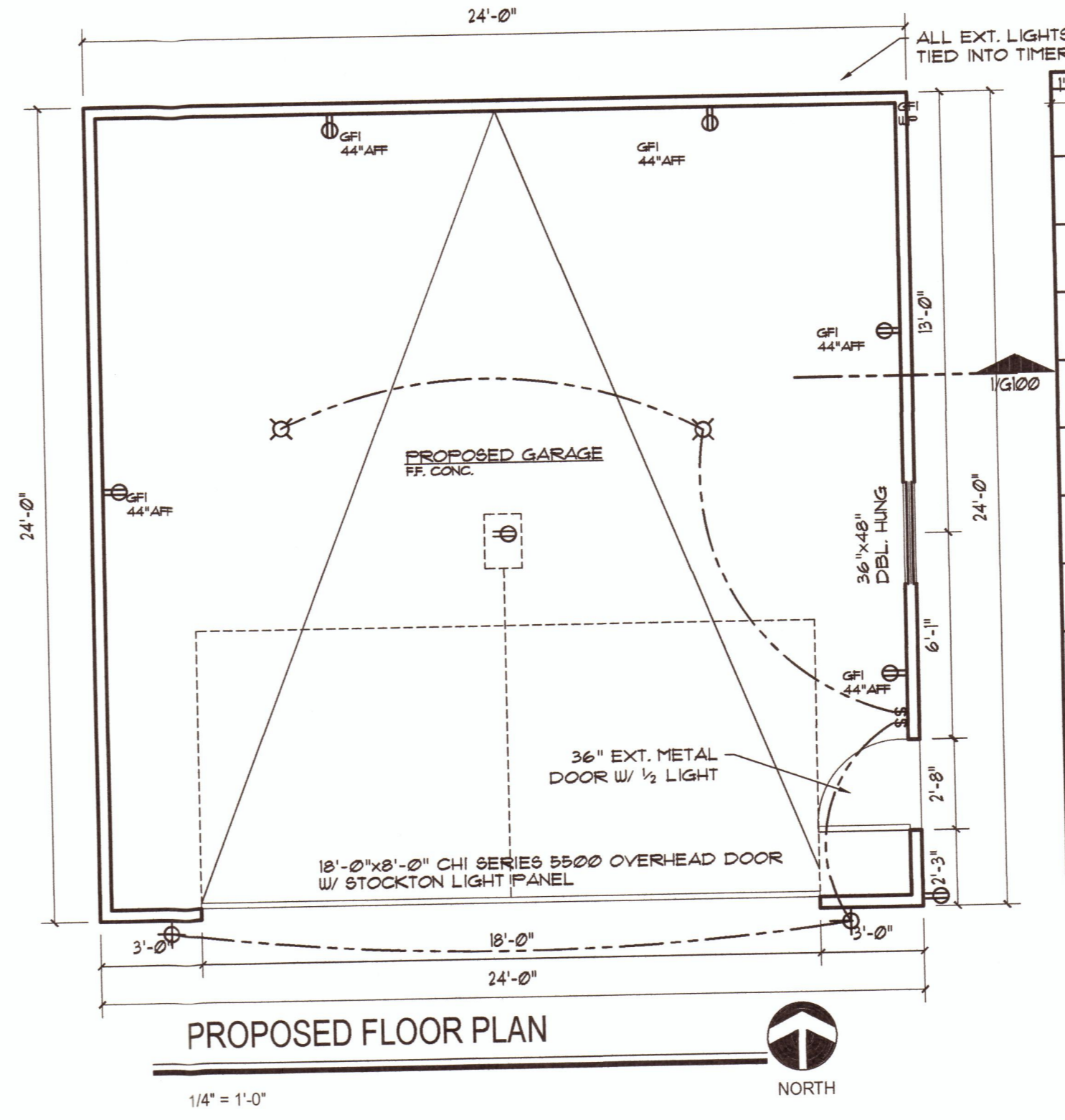
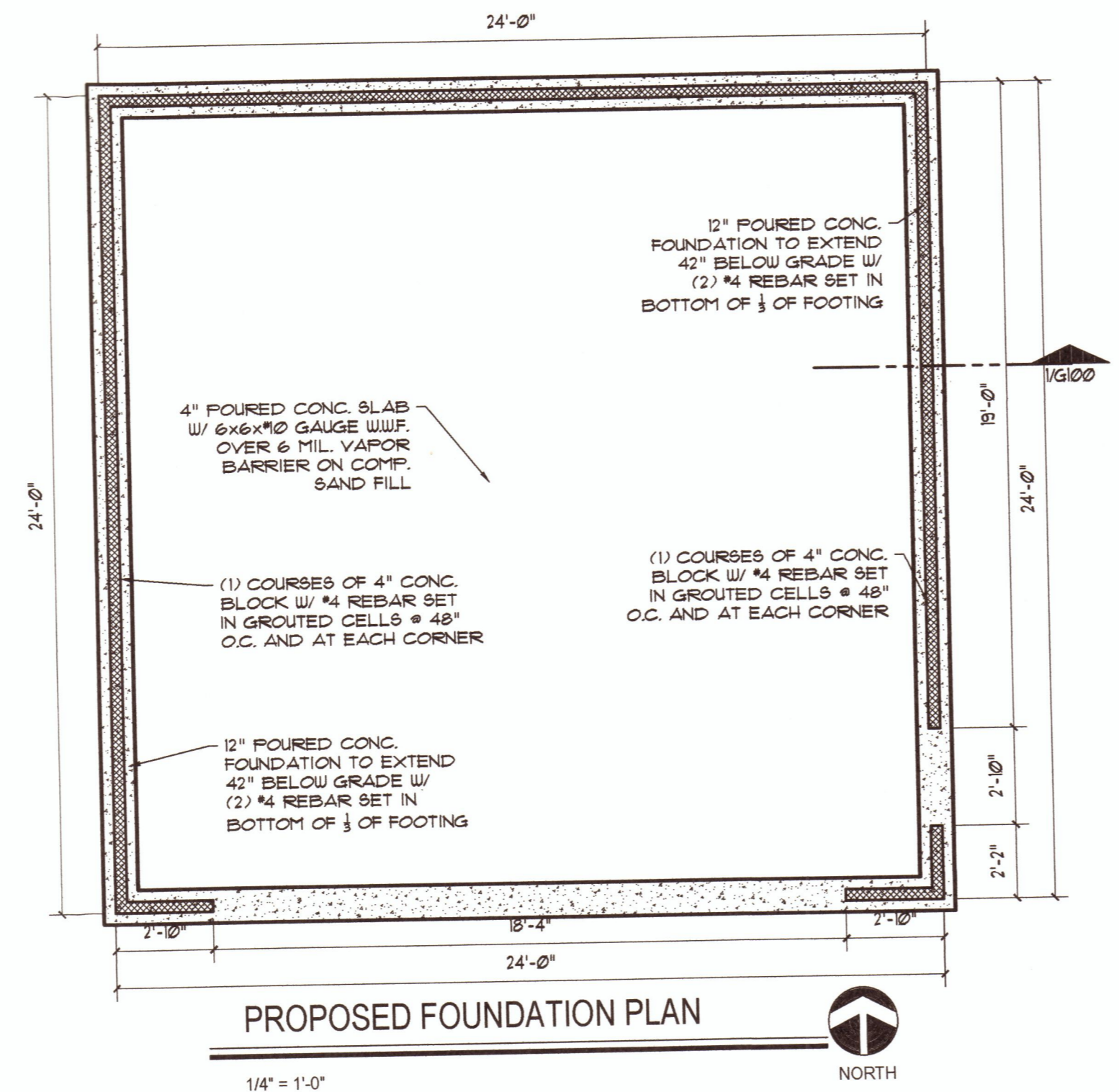
DRAWN BY: WJT

CHECKED BY: WJT

COMMISSION: Doyle

SHEET NUMBER: T100

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	DUPLEX SPLIT RECEPTACLE
	GROUND FAULT INTERRUPT CIRCUIT
	220 VOLT RECEPTACLE
	WEATHERPROOF RECEPTACLE
	SMOKE/CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	CEILING MOUNTED FIXTURE
	RECESSED FIXTURE
	DIRECTIONAL WALL WASH FIXTURE
	WALL MOUNTED FIXTURE
	SINGLE POLE TOGGLE SWITCH
	THREE WAY TOGGLE SWITCH
	FOUR WAY TOGGLE SWITCH
	SINGLE POLE DIMMER SWITCH



residential design & construction

524 Seventh Street
Rochester, MI 48306
wjstudios@comcast.net

p 248.568.784
f 248.564.521

The design concepts and creative forms or systems graphically or literally expressed on this or any other sheet have been generated by the designer for exclusive application to this project. They are the sole property of the designer and can only be used, modified, or reproduced at the exclusive discretion of and by written permission of the designer.

proposed design for:

DOYLE RESIDENCE

307 Highland Twp.
Rochester, MI

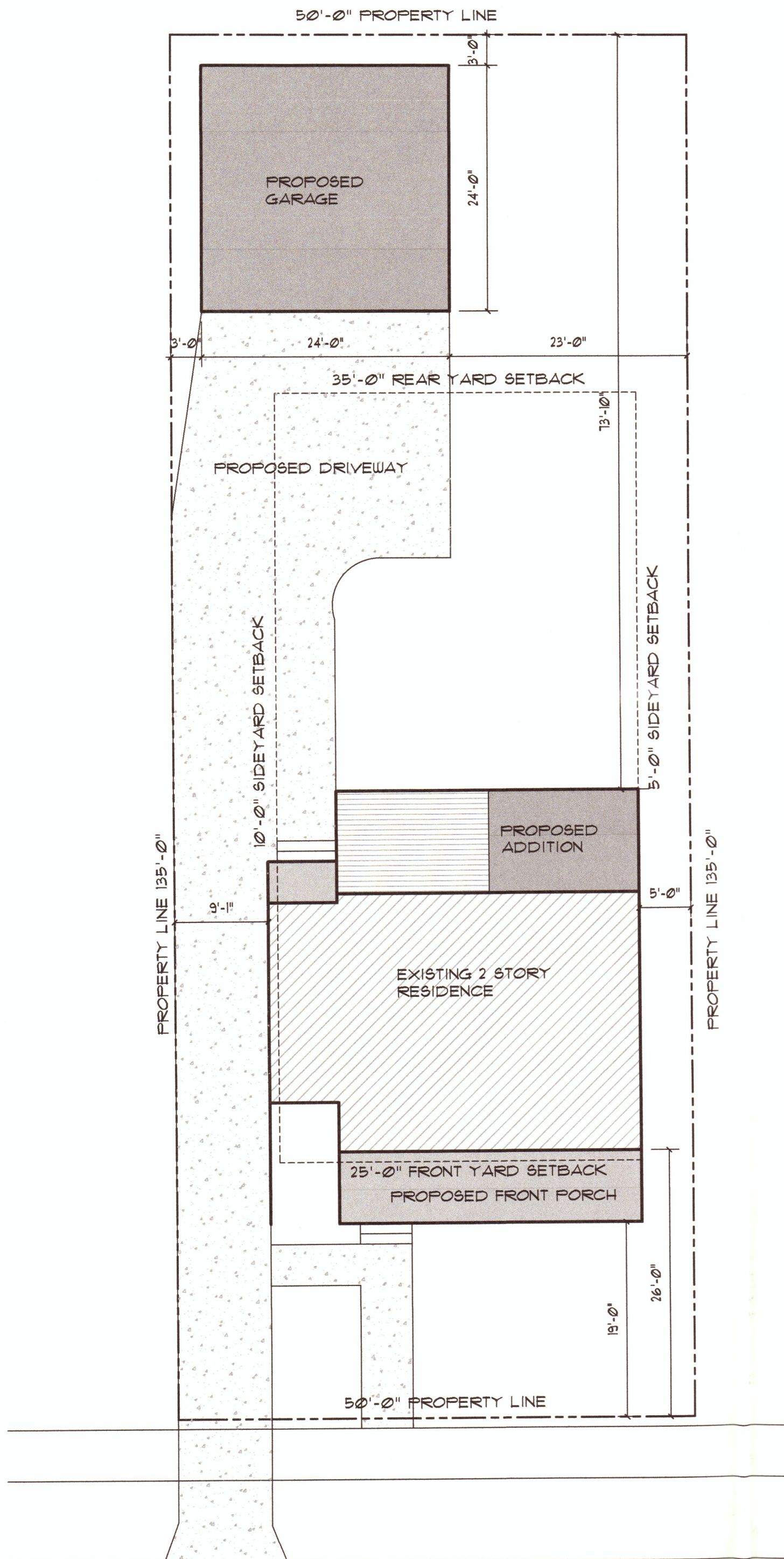
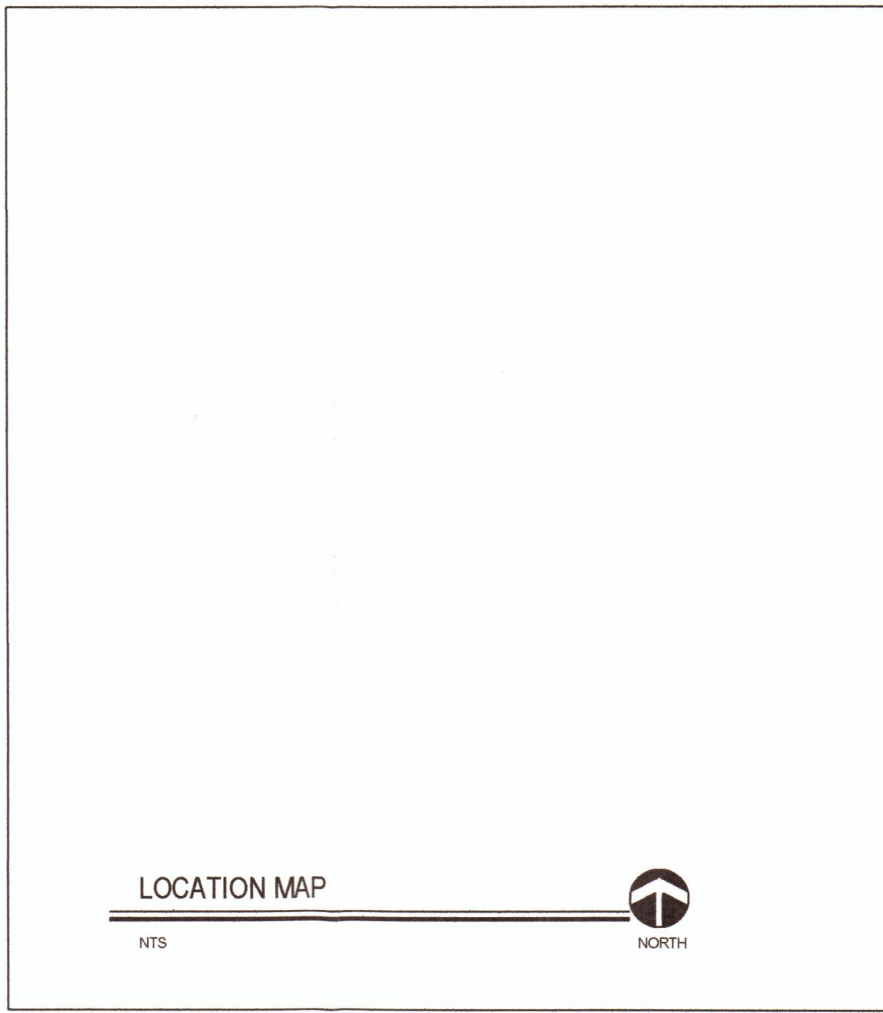
PROPOSED GARAGE PLANS AND ELEVATIONS

DATE:	ISSUED:
4-26-16	OWNER F
5-9-16	OWNER F
2-17-17	OWNER F
8-2-17	OWNER F
10-10-17	PERMIT/ BID

DRAWN BY:
CHECKED BY:
COMMISSION: Do
SHEET NUMBER: G1

PROPOSED DESIGN FOR:
DOYLE RESIDENCE

307 HIGHLAND ST., ROCHESTER, MI.

PROPOSED SITE PLAN	ZONING REQUIREMENTS	INDEX OF DRAWINGS	LOCATION MAP		
 <p style="text-align: center;">HIGHLAND RD. 60'-0" R.O.W. PROPOSED SITE PLAN 1" = 10'-0" </p>	<p>LEGAL DESCRIPTION:</p> <p>ZONING = R-1 SETBACKS:</p> <p>FRONT = 25'-0" SIDE = 5'-0" AND TOTAL OF 15'-0" REAR = 35'-0"</p> <p>SITE COVERAGE: 30% MAXIMUM</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="text-align: left;">SITE COVERAGE</th> </tr> <tr> <td> SITE AREA = 6,150 SF 30% OF SITE = 2,025 SF TOTAL SITE COVERAGE = 1,891 SF </td> </tr> </table>	SITE COVERAGE	SITE AREA = 6,150 SF 30% OF SITE = 2,025 SF TOTAL SITE COVERAGE = 1,891 SF	<p>T100 COVER SHEET G100 GARAGE PLANS AND DETAILS N100 GENERAL NOTES</p> <p>STRUCTURAL S100 PROPOSED FOUNDATION AND FRAMING PLANS S101 PROPOSED FRAMING AND ROOF PLANS</p> <p>ARCHITECTURAL A100 EXISTING AND PROPOSED FLOOR PLANS A200 EXISTING AND PROPOSED ELEVATIONS A201 EXISTING AND PROPOSED ELEVATION A300 PROPOSED BUILDING SECTIONS A400 PROPOSED WALL SECTIONS</p>	 <p style="text-align: center;">LOCATION MAP NTS </p>
	SITE COVERAGE				
	SITE AREA = 6,150 SF 30% OF SITE = 2,025 SF TOTAL SITE COVERAGE = 1,891 SF				
	BUILDING CODE DATA	<p>2015 MICHIGAN RESIDENTIAL CODE 2015 MICHIGAN UNIFORM ENERGY CODE USE AND OCCUPANCY CLASSIFICATION: R-3</p> <p>CONSTRUCTION TYPE: VB</p>		DRAWING SYMBOLS	
SQUARE FOOTAGE	<p>EXISTING SF = 1432 SF PROPOSED SF = 394 SF TOTAL RESIDENCE SF = 1,826 SF</p>		<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; vertical-align: top;"> <p> REFERENCE ELEVATION = 100'-0" PER SURVEY</p> <p>Room Name 100</p> <p> KEYNOTE</p> <p> DOOR TAG</p> <p> WINDOW TAG</p> <p> COLUMN BUBBLE AND GRID LINE</p> <p> PARTITION TYPE</p> <p> WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</p> <p> FOOTING SCHEDULE TAG</p> <p>DRAWING NUMBER: 1</p> <p>DRAWING OR DETAIL TITLE: DRAWING NAME</p> <p>DRAWING SCALE: 1/4" = 1'-0"</p> </td> <td style="width:50%; vertical-align: top;"> <p>ELEVATION MARKER</p> <p>ROOM TAG # NUMBER</p> <p>KEYNOTE</p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>COLUMN BUBBLE AND GRID LINE</p> <p>PARTITION TYPE</p> <p>WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</p> <p>FOOTING SCHEDULE TAG</p> </td> </tr> </table>	<p> REFERENCE ELEVATION = 100'-0" PER SURVEY</p> <p>Room Name 100</p> <p> KEYNOTE</p> <p> DOOR TAG</p> <p> WINDOW TAG</p> <p> COLUMN BUBBLE AND GRID LINE</p> <p> PARTITION TYPE</p> <p> WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</p> <p> FOOTING SCHEDULE TAG</p> <p>DRAWING NUMBER: 1</p> <p>DRAWING OR DETAIL TITLE: DRAWING NAME</p> <p>DRAWING SCALE: 1/4" = 1'-0"</p>	<p>ELEVATION MARKER</p> <p>ROOM TAG # NUMBER</p> <p>KEYNOTE</p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>COLUMN BUBBLE AND GRID LINE</p> <p>PARTITION TYPE</p> <p>WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</p> <p>FOOTING SCHEDULE TAG</p>
<p> REFERENCE ELEVATION = 100'-0" PER SURVEY</p> <p>Room Name 100</p> <p> KEYNOTE</p> <p> DOOR TAG</p> <p> WINDOW TAG</p> <p> COLUMN BUBBLE AND GRID LINE</p> <p> PARTITION TYPE</p> <p> WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</p> <p> FOOTING SCHEDULE TAG</p> <p>DRAWING NUMBER: 1</p> <p>DRAWING OR DETAIL TITLE: DRAWING NAME</p> <p>DRAWING SCALE: 1/4" = 1'-0"</p>	<p>ELEVATION MARKER</p> <p>ROOM TAG # NUMBER</p> <p>KEYNOTE</p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>COLUMN BUBBLE AND GRID LINE</p> <p>PARTITION TYPE</p> <p>WALL SECTION, BLDG. SECTION, ELEV. TAG (DETAIL NUMBER, SHEET NUMBER)</p> <p>FOOTING SCHEDULE TAG</p>				
			MATERIAL SYMBOLS LIST		
			<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; vertical-align: top;"> <p> CONCRETE BLOCK</p> <p> BRICK</p> <p> NEW PARTITION</p> <p> BATT OR BLOWN IN INSULATION</p> <p> STEEL</p> <p> PLYWOOD</p> <p> FINISHED WOOD</p> </td> <td style="width:50%; vertical-align: top;"> <p> RIGID INSULATION</p> <p> GRAVEL</p> <p> UNDISTURBED EARTH</p> <p> CONCRETE</p> <p> COMPACTED SAND</p> <p> GYP BD</p> </td> </tr> </table>	<p> CONCRETE BLOCK</p> <p> BRICK</p> <p> NEW PARTITION</p> <p> BATT OR BLOWN IN INSULATION</p> <p> STEEL</p> <p> PLYWOOD</p> <p> FINISHED WOOD</p>	<p> RIGID INSULATION</p> <p> GRAVEL</p> <p> UNDISTURBED EARTH</p> <p> CONCRETE</p> <p> COMPACTED SAND</p> <p> GYP BD</p>
<p> CONCRETE BLOCK</p> <p> BRICK</p> <p> NEW PARTITION</p> <p> BATT OR BLOWN IN INSULATION</p> <p> STEEL</p> <p> PLYWOOD</p> <p> FINISHED WOOD</p>	<p> RIGID INSULATION</p> <p> GRAVEL</p> <p> UNDISTURBED EARTH</p> <p> CONCRETE</p> <p> COMPACTED SAND</p> <p> GYP BD</p>				

proposed design for:

DOYLE RESIDENCE

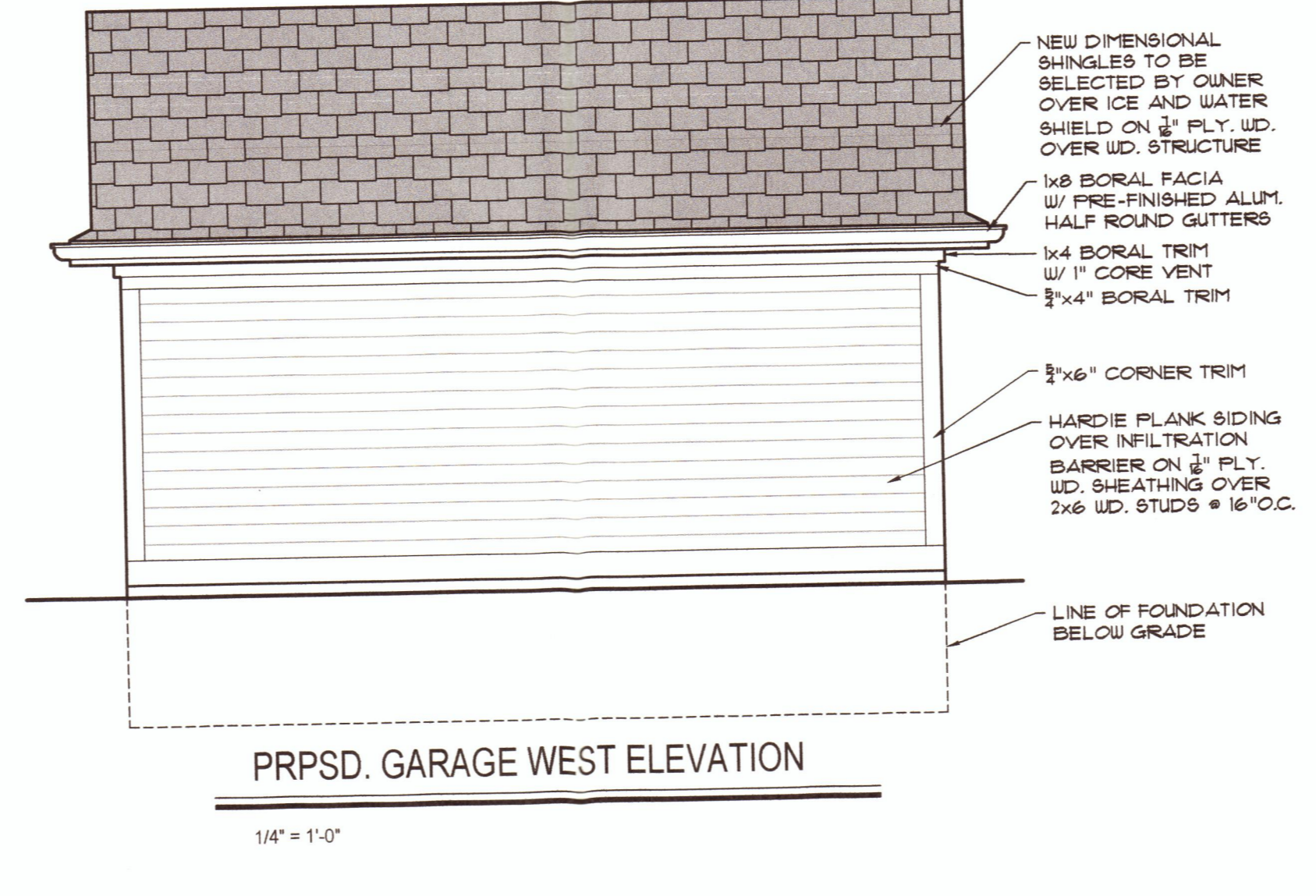
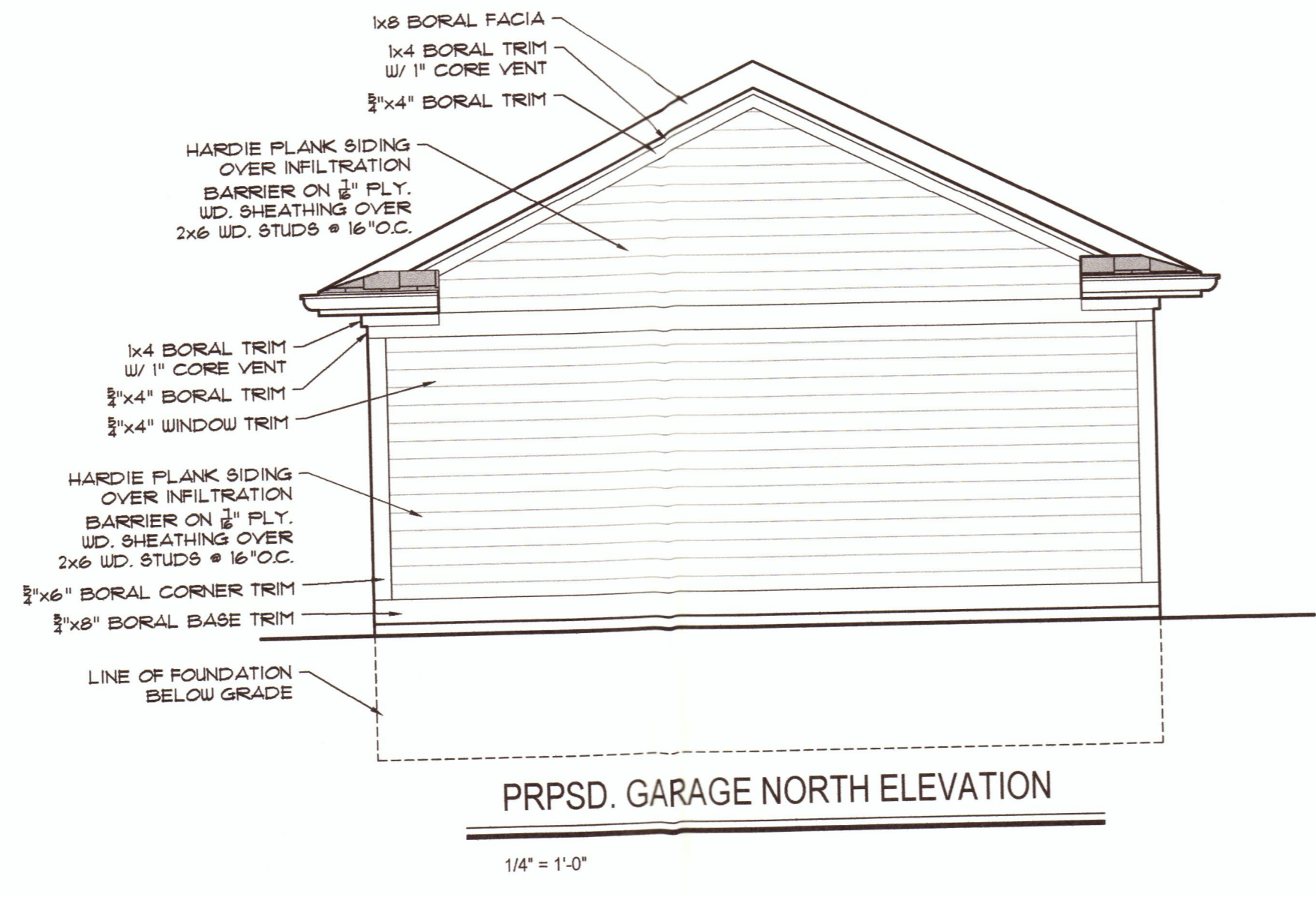
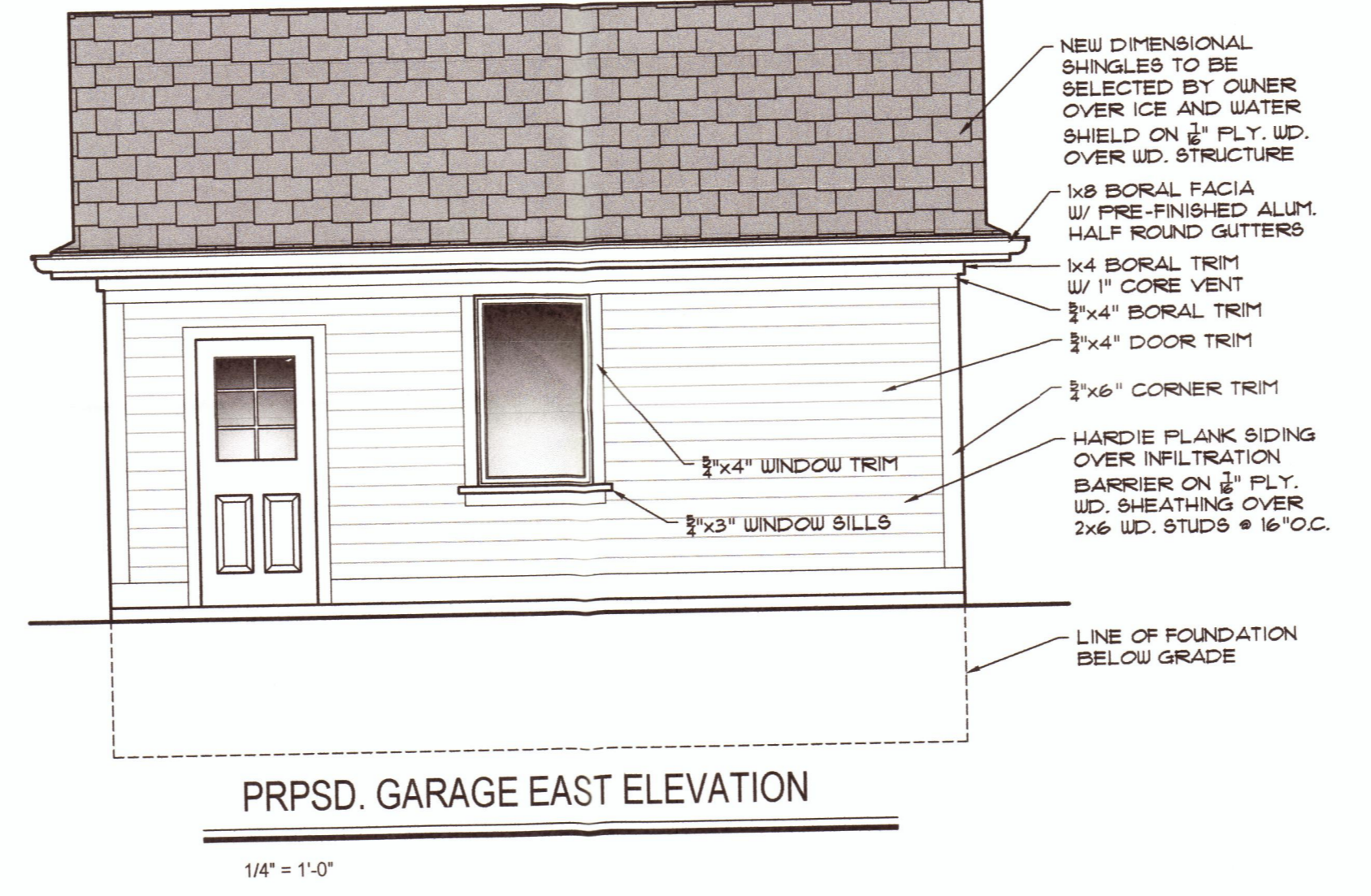
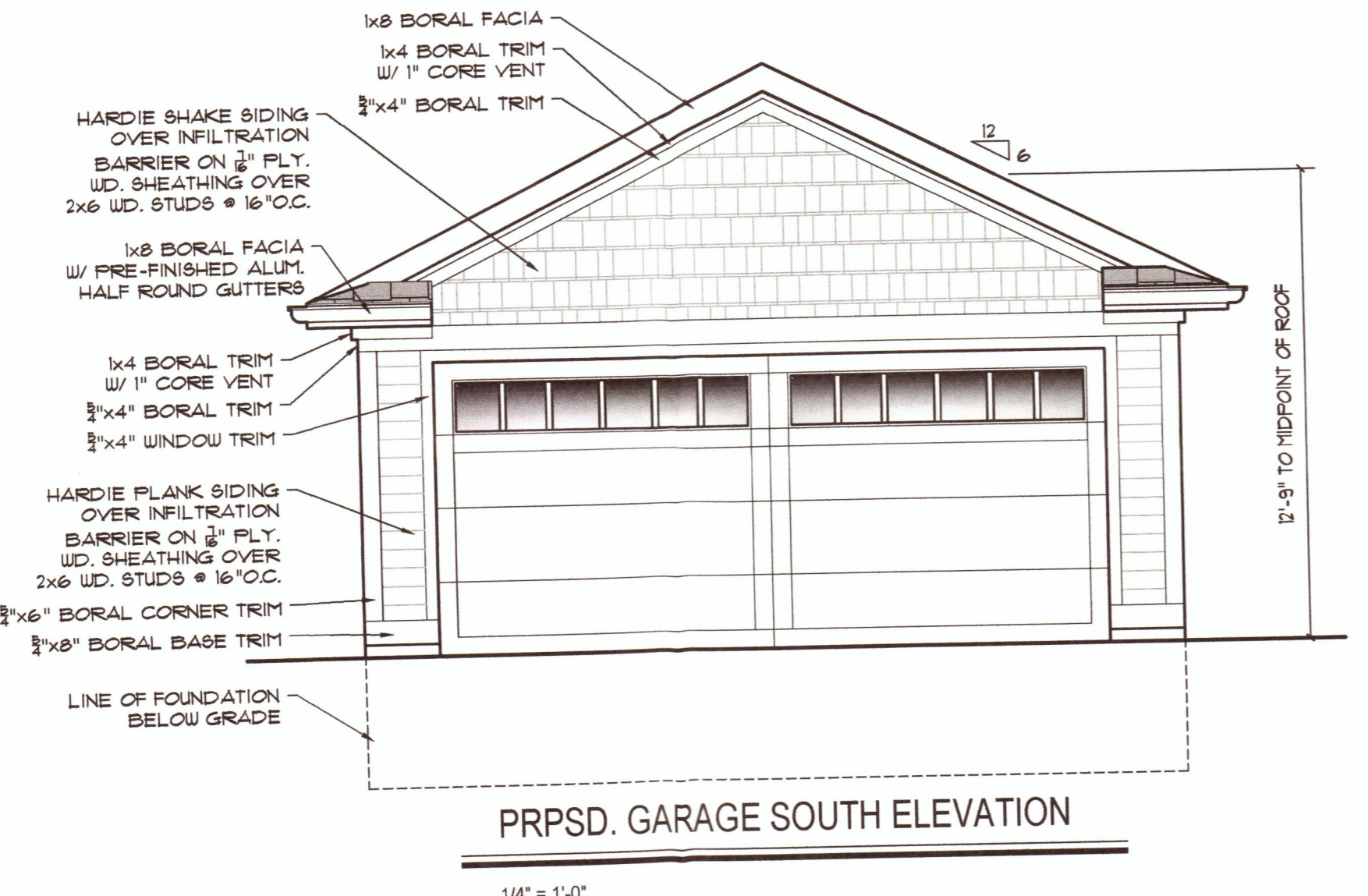
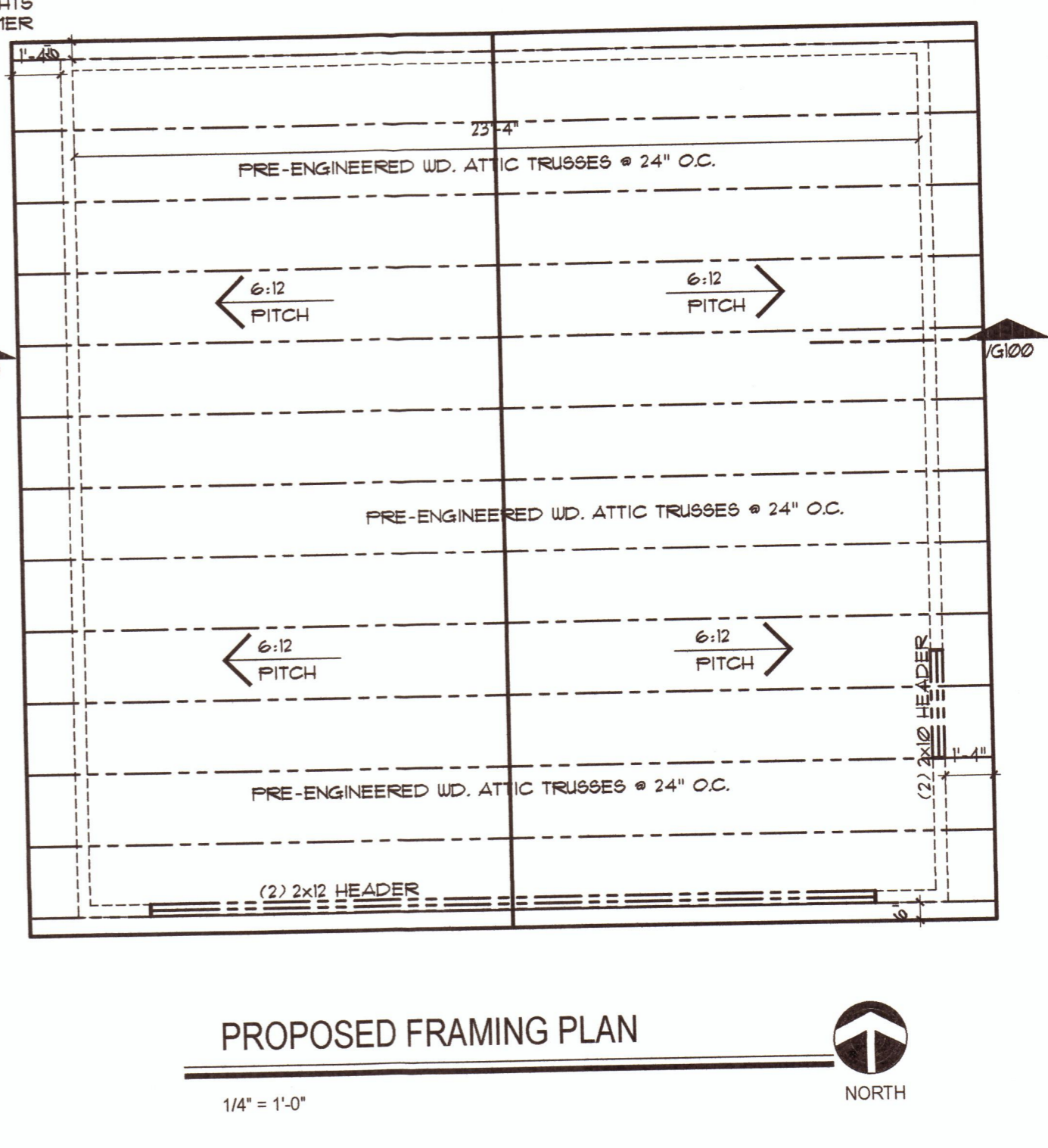
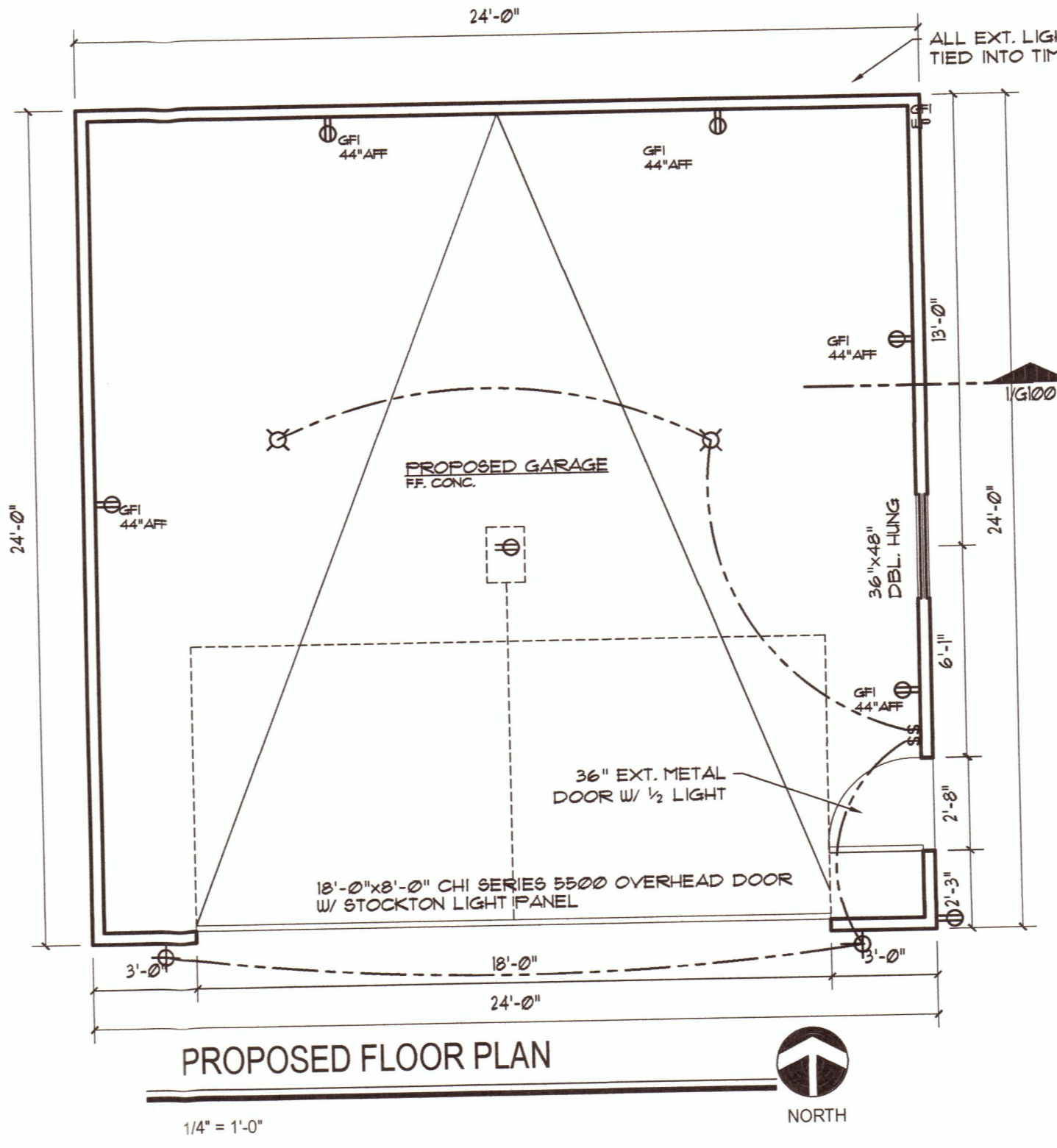
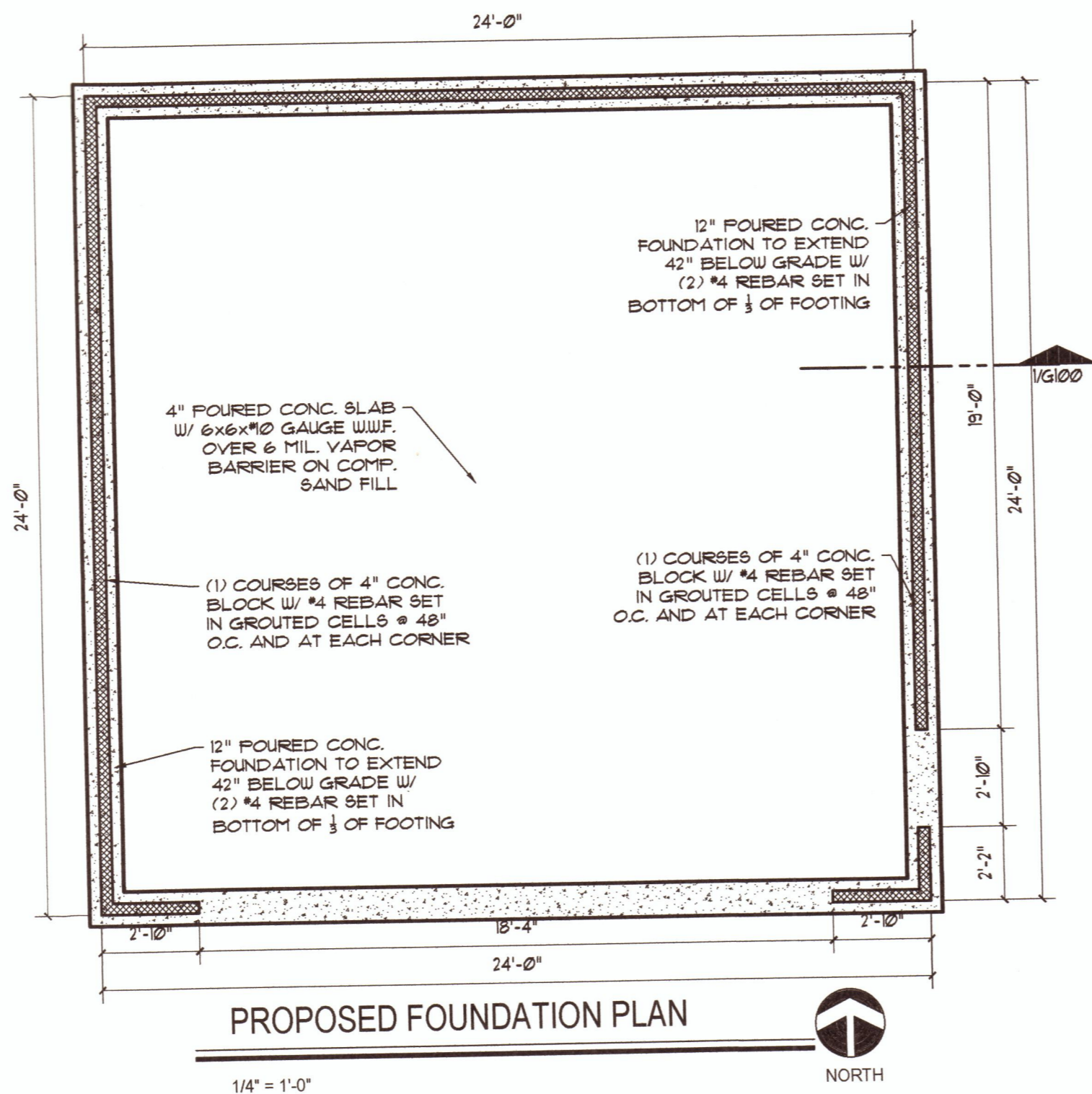
307 Highland Twp.
Rochester, MI

SHEET TITLE
PROPOSED TITLE SHEET

DATE:	ISSUED FOR:
4-26-16	owner review
5-9-16	owner review
2-17-17	owner review
8-2-17	owner review
10-10-17	PERMIT/BIDDING

DRAWN BY: WJT
 CHECKED BY: WJT
 COMMISSION: Doyle
 SHEET NUMBER: T100

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE
	QUAD RECEPTACLE
	DUPLEX SPLIT RECEPTACLE
	GROUND FAULT INTERRUPT CIRCUIT
	220 VOLT RECEPTACLE
	WEATHERPROOF RECEPTACLE
	SMOKE/CARBON MONOXIDE DETECTOR
	EXHAUST FAN
	CEILING MOUNTED FIXTURE
	RECESSED FIXTURE
	DIRECTIONAL WALL WASH FIXTURE
	WALL MOUNTED FIXTURE
	SINGLE POLE TOGGLE SWITCH
	THREE WAY TOGGLE SWITCH
	FOUR WAY TOGGLE SWITCH
	SINGLE POLE DIMMER SWITCH



residential design & construction

524 Seventh Street
Rochester, MI 48306
wjstudios@comcast.net

p 248.568.784
f 248.564.521

The design concepts and creative forms or system quantities or literally expressed on this or any other drawings have been generated by the designer for exclusive use of the client. They are the property of the designer and can only be used, modified, or reproduced at the exclusive discretion of and by written permission of the designer.

proposed design for:

DOYLE RESIDENCE

307 Highland Twp.
Rochester, MI

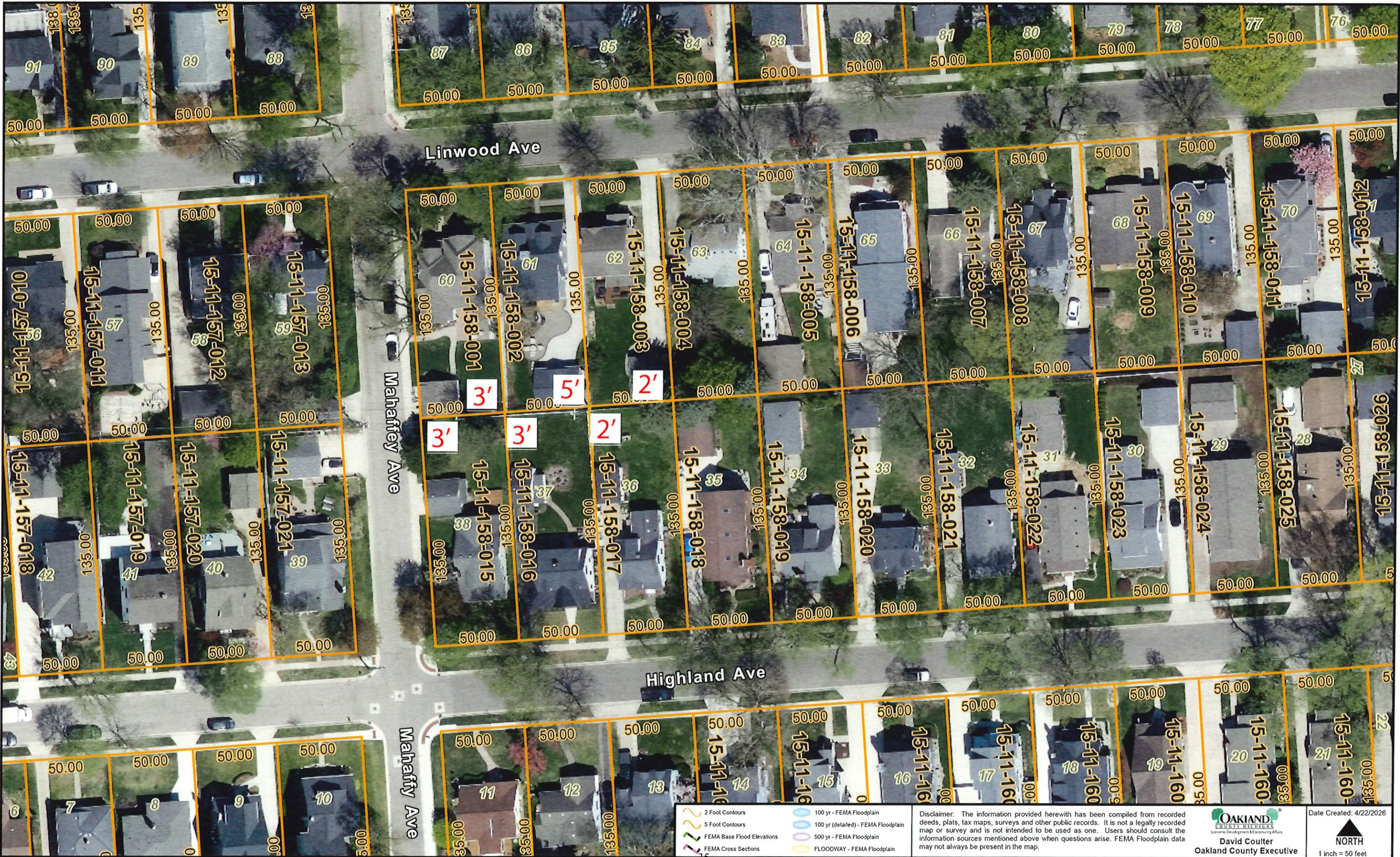
PROPOSED GARAGE PLANS AND ELEVATIONS

DATE:	ISSUED:
4-26-16	OWNER REVIEW
5-9-16	OWNER REVIEW
2-17-17	OWNER REVIEW
8-2-17	OWNER REVIEW
10-10-17	PERMIT/ISSUE

DRAWN BY:
CHECKED BY:
COMMISSION: Do

SHEET NUMBER: G1

Doyle Site Plan



- 2 Foot Contours
- 5 Foot Contours
- FEMA Base Flood Elevations
- FEMA Cross Sections
- 100 yr - FEMA Floodplain
- 100 yr (detailed) - FEMA Floodplain
- 500 yr - FEMA Floodplain
- FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present in the map.


David Coulter
 Oakland County Executive

Date Created: 4/22/2026

 NORTH
 1 inch = 50 feet



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

May 12, 2026

TO: Zoning Board of Appeals

RE: Staff Report - ZBA Case 321 W. Third Steet

Cheryl Boodram, owner of 321 W. Third Street, is seeking a variance from the required total side yard setbacks within the R-T, Two Family Residential Zoning classification, in order to construct a new, 1-car Garage/Workshop addition onto the existing non-conforming home. The property is located on the southeast corner of W. Third Street and Oak Steet., zoned R-T, Two Family Residential, Sidwell parcel 15-15-233-001. The specific waiver being sought is as follows:

- A waiver 7.46 of required combined side yard setbacks, (15.00 feet required 7.54 feet provided) within the R-T, Two Family Residential Zoning Classification.
1. The site contains 0.16 acres of land, with a frontage of 56.67 feet along W. Third Street and has a depth of 121.22 feet along Oak Street. The property has an existing non-conforming home on it, by virtue of that it is only set back 2.54 from the west property line when the minimum required side yard setback in the R-T zoning classification is 5 feet. The existing east setback exceeds the 10-foot minimum. There is no garage on the site at present.
 2. The proposed addition to the existing home of a 1-car garage/workshop would have a 5-foot east side yard setback. With the existing western side yard setback of 2.54 feet, the total of the two setbacks would be 7.54 feet which is 7.46 feet less than the required 15 feet total side yard setbacks required within the R-T zoning classification.
 3. The petitioner points out that there is no existing sidewalk on the east side of Oak Street as the grade from W. Third to 2nd Street is very steep and the City has no future plans to install one or require the residents to install one. They point out that this situation creates an existing greenbelt of over 20 feet from the curb line.

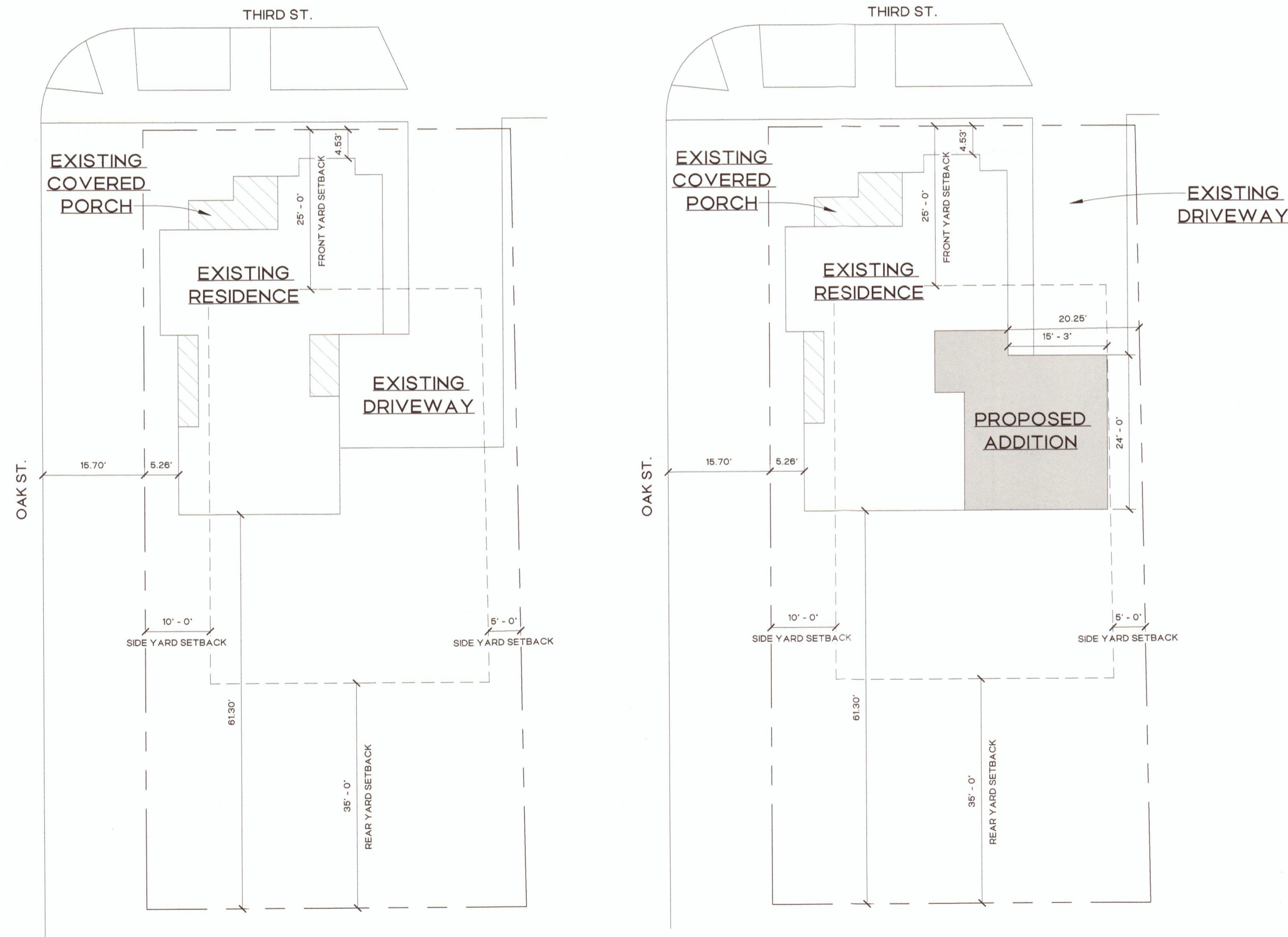
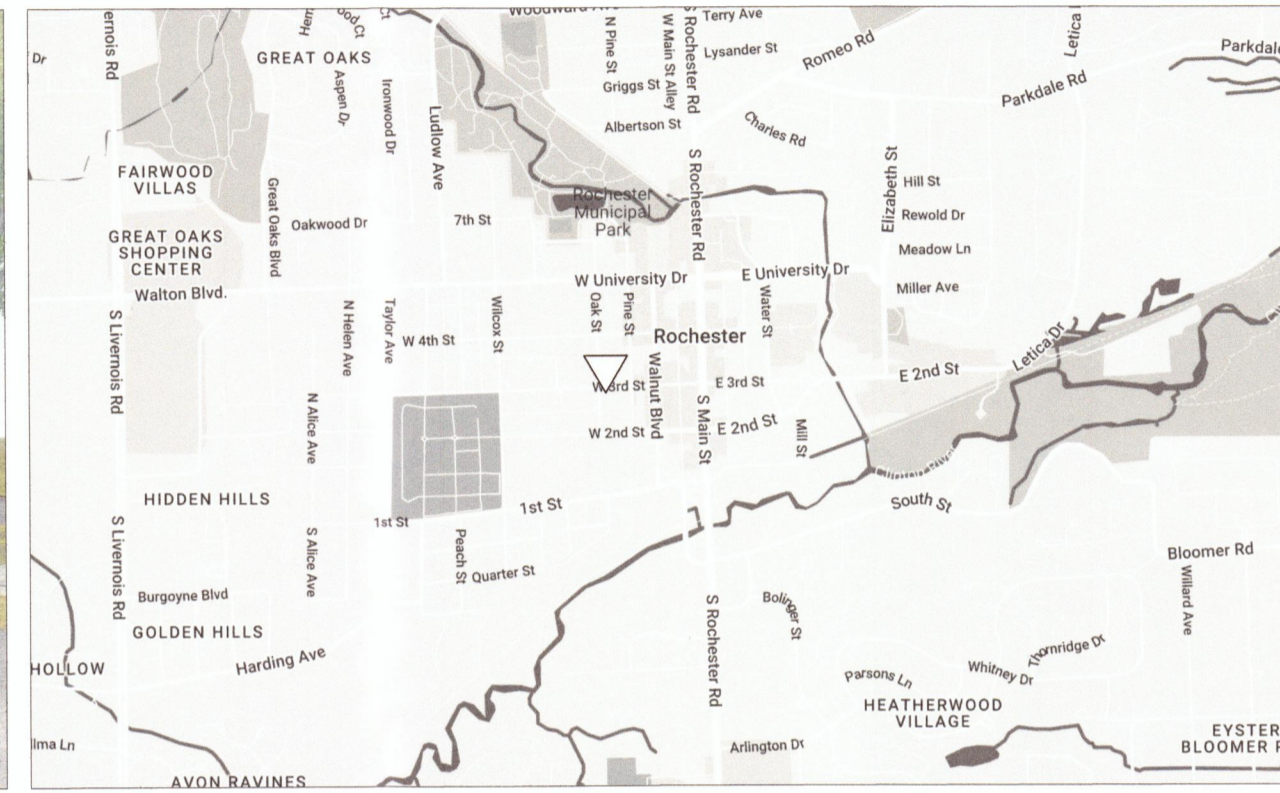
Sincerely,

Nik Banda

Nik Banda
City Manager & Economic Development Director

Boodram Residence

321 W. Third St. | Rochester, MI 48307



Existing Site Plan
1/16" = 1'-0"

Proposed Site Plan
1/16" = 1'-0"

Lot Coverage (Existing)		Lot Coverage (Proposed)		Zoning		Existing Square Footage	
LOT SIZE	= 6,980.5 SF	LOT SIZE	= 6,980.5 SF	ZONING CLASSIFICATION	= RT	MAIN LEVEL	= 1,310 SF
MAX % COVERAGE	= 30%	MAX % COVERAGE	= 30%	FRONT YARD SETBACK	= 25'	SECOND LEVEL	= NOT MEASURED
MAX ALLOWABLE	= 2,094.2 SF	MAX ALLOWABLE	= 2,094.2 SF	SIDE YARD SETBACKS	= 5' AND 10'	Added Square Footage	
LOT COVERAGE	= 1,641.4 SF (23.5%)	LOT COVERAGE	= 2,049.2 SF (29.3%)	REAR YARD SETBACK	= 35'	MAIN LEVEL	= 101.3 SF

General Notes

SOILS, FOOTINGS, & SLABS
ALL POURED CONCRETE FOOTINGS SHALL EXTEND TO A MINIMUM DEPTH OF 42" BELOW PROPOSED FINISHED GRADE IN ACCORDANCE WITH 2015 MICHIGAN RESIDENTIAL CODE. AND SHALL BEAR ON VIRGIN UNDISTURBED SOIL. ADDITIONAL DEPTH MAY BE REQUIRED AS DICTATED BY SOIL CONDITIONS. REFER TO SHEET A-01 FOR THE MRC 403.12(1) SOILS TABLE FOR PRESCRIPTIVE FOOTING WIDTHS. VERIFICATION OF ALLOWABLE SOIL BEARING CAPACITY AT EACH JOBSITE IS RESPONSIBILITY OF CONTRACTOR AND SHALL MEET MINIMUM 2015 MICHIGAN RESIDENTIAL CODE FOR THE PRESCRIBED FOOTING WIDTH PER THE MRC 403.1 TABLE. QUESTIONABLE SOIL CONDITIONS ARE TO BE INVESTIGATED BY A QUALIFIED SOILS ENGINEER.

FOUNDATION REINFORCEMENT
PROVIDE VERTICAL REINFORCEMENT IN POURED CONCRETE WALLS AS REQUIRED PER TABLE R404.1(6) IN THE 2015 MICHIGAN RESIDENTIAL CODE. THIS TABLE ESTABLISHES REINFORCEMENT REQUIREMENTS AS DETERMINED BY MAXIMUM WALL HEIGHT, MAXIMUM UNBALANCED BACKFILL HEIGHT, ALONG WITH CONCRETE WALL THICKNESS & DETERMINATION OF SOIL CLASSIFICATION & DESIGN LATERAL SOIL PROPERTIES.

ALL POURED CONC. WALLS TO BE BACKFILLED WITH SUITABLE TYPE BACKFILL MATERIAL THAT IS NOT WET CLAY OR FROZEN CHUNKS AND BE WELL BRACED UNTIL CONC. IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE. BACKFILLING SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE.

ADD CONCRETE REINFORCEMENT SUPPORT PER R702A.2 OF THE 2015 MICHIGAN RESIDENTIAL CODE FOR ALL SLABS ON GROUND. TO ENSURE THAT REINFORCEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO UPPER ONE THIRD OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT.

ALL CONCRETE SLABS SHALL BE PLACED ON COMPACTED OR SELF-COMPACTING GRANULAR FILL BASE. ALL BASEMENTS SHALL HAVE A 8 MIL PVC VAPOR BARRIER PLACED BETWEEN EITHER THE SUB-GRADE AND THE BASE OR THE BASE AND THE SLAB.

ALL METAL STRAP SILL PLATE ANCHORS SHALL BE PLACED AND EMBEDDED IN THE POURED CONCRETE WALLS AND TRENCH FOOTINGS AND BE CONTINUOUS THRU THE BLOCK COURSES(S) AND ATTACH TO THE WALL SILL PLATE PER MANUFACTURER'S INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

CONCRETE
ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST A.C.I. AND N.C.M.A. RECOMMENDATIONS AND SPECIFICATIONS.

MINIMUM CONCRETE STRENGTH FOR FOOTINGS SHALL BE 3000 P.S.I. AT 28 DAYS UNLESS OTHERWISE NOTED. SLABS AND WALLS SHALL BE 4000 P.S.I. MINIMUM UNLESS OTHERWISE NOTED WITH 8% ± ENTRAINED AIR WHERE EXPOSED TO WEATHER.

ALL REINFORCING BARS, DOWELS, AND TIES SHALL CONFORM TO ASTM A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE A MINIMUM 3/8" DIAMETER OVERLAP AND BE FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. RECOMMENDATIONS.

REINFORCED CONCRETE WALLS AND TRENCH FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING AS THE MAIN HORIZONTAL REINFORCING. PROVIDE (2) #5 DIAGONAL BARS AT CORNERS OF WALL OPENINGS.

MASONRY
ALL MASONRY WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST A.C.I. AND N.C.M.A. RECOMMENDATIONS AND SPECIFICATIONS.

ALL BLOCK MASONRY SHALL CONFORM TO ASTM C90 OR C145 TYPE N-1. MORTAR TYPES SHALL BE TYPE-S.

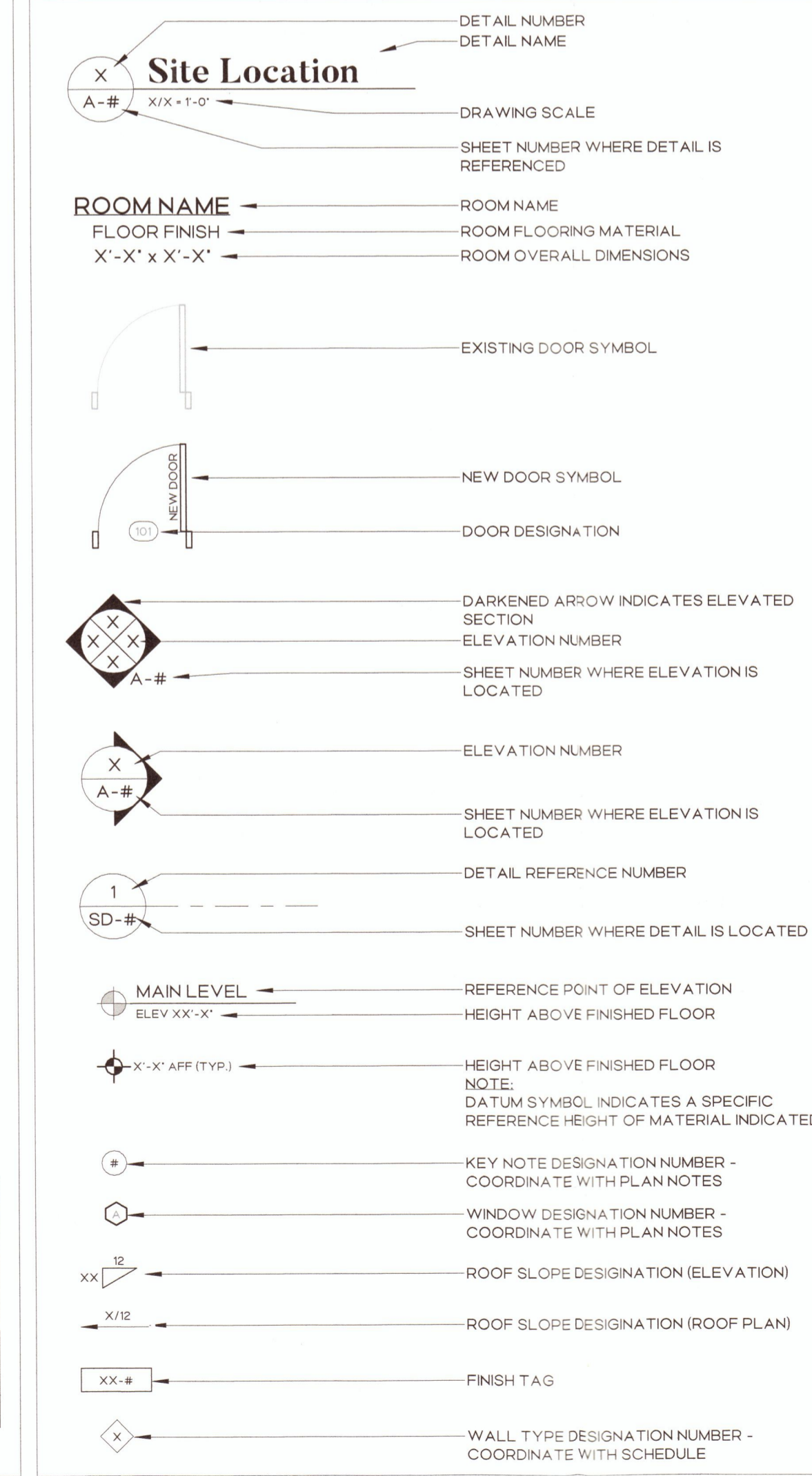
PROVIDE FLASHING AT (1) TOP OF WINDOWS AND DOORS (2) CHIMNEYS (3) DOOR AND WINDOW SILLS (4) AT ROOF INTERSECTIONS AND (5) AT THE FIRST BRICK/BLOCK COURSE ABOVE GRADE.

UNLESS OTHERWISE NOTED, USE L6X3-1/2X5/16 L.L.V. STEEL LINTEL FOR 4" NOMINAL BRICK VENEER SPANNING OPENINGS UP TO 8'-0" WITH 2 STORES ABOVE. 8'-0" WIDTH WITH ONE STORY ABOVE, OR 10'-0" WITH NO STORES ABOVE.

WEEP HOLES, AT 33" O.C. MAXIMUM, 3/16" MINIMUM DIAMETER SHALL BE PROVIDED IN THE FIRST COURSE ABOVE GRADE AND ALL THROUGH WALL FLASHING.

A FLASHING INSPECTION IS REQUIRED PRIOR TO THE INSTALLATION OF A FULL WALL OF BRICK, AND SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE.

Symbol Legend



General Notes

FRAMING
WALL STUDS SHALL BE SPRUCE, PINE, FIR #2, OR BETTER BEARING WALL WINDOW AND DOOR HEADERS SHALL BE SPRUCE, PINE, FIR #2, OR BETTER (MUST BE (2) 2x10'S UNLESS OTHERWISE NOTED ON PLANS). ALL WALL PLATE MATERIALS SHALL PROVIDE A MINIMUM OF 425 P.S.F. PERPENDICULAR TO THE GRAIN.

ALL CONVENTIONAL FRAMING HEADERS, BEAMS AND RAFTERS 2 X 10 AND LESS TO BE #2 OR BETTER HEM FIR. ALL 2 X 12'S TO BE #2 OR BETTER DOUGLASS FIR.

FOUNDATION DRAINAGE
PROVIDE A CONTINUOUS 4" MIN. DIAMETER PERFORATED DRAIN TILE ON EACH SIDE OF BASEMENT WALL FOOTINGS. DRAIN TILES SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. PROVIDE GRAVEL OR CRUSHED STONE AROUND ALL DRAINS AT LEAST 12 INCHES BEYOND THESE EDGE OF THE FOOTING. 6 INCHES OF COVER, AND 2 INCHES BELOW ALL DRAIN TILES. FOR ADDITIONAL SITE SPECIFIC REQUIREMENTS, IDEAL SOIL CONDITIONS ARE ASSUMED BY THE DESIGNER AND MAY VARY. SEE SOILS ANALYSIS BY OTHERS.

SITE GRADING
THE SITE SHALL BE GRADED WITH A MINIMUM OF 6" FALL AT A DISTANCE OF TEN FEET FROM THE BUILDING FOUNDATION. SEE GRADING PLAN BY OTHERS FOR SPECIFIC GRADING DIAGRAMS.

ATTIC ACCESS
A READILY-ACCESSIBLE OPENING NOT LESS THAN 22" X 30" SHALL BE PROVIDED AT ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30" AND AN AREA GREATER THAN 30 SQ. FT.

DOOR AND WINDOW NOTATIONS
ALL DOOR AND WINDOW NOTATIONS REFER TO GENERIC WINDOW SIZES. REFER TO GENERAL CONTRACTOR AND/OR OWNER FOR FINAL DOOR AND WINDOW MANUFACTURER SPECIFICATIONS.

DOOR AND EMERGENCY WINDOW EGRESS
ONE ENTRY DOOR INTO EACH DWELLING UNIT SHALL BE A MINIMUM OF 36" IN WIDTH ALL OTHER DOORS SHALL BE A MINIMUM OF 24" CLEAR WIDTH EXCEPT DOOR INTO SPACES LESS THAN 10 SQ. FT.

EMERGENCY MEANS OF EGRESS FROM BEDROOMS SHALL BE PROVIDED BY A WINDOW WITH A NET CLEAR OPENING OF 5.0 SQ. FT. (FOR AT GRADE BEDROOM WINDOWS) OR 5.7 SQ. FT. FOR SECOND STORY WINDOWS AND ABOVE. CLEAR OPENING SHALL BE OBTAINABLE THROUGH NORMAL OPERATION OF THE WINDOW FROM THE INSIDE. THE MINIMUM CLEAR HEIGHT SHALL BE 24" AND THE MINIMUM CLEAR WIDTH SHALL BE 20". THE MAXIMUM SILL HEIGHT SHALL BE 44" ABOVE FINISH FLOOR.

ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED WITH THE DOOR AND WINDOW MANUFACTURER FOR ROUGH OPENING SIZES AND COMPLIANCE TO THE 2015 MICHIGAN RESIDENTIAL CODE.

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 18 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS.

SAFETY GLAZING
SAFETY GLAZING SHALL BE PROVIDED IN THE FOLLOWING AREAS:
1. DOORS AND SILLIES INCLUDING DOOR WALLS AND TRENCH DOORS.
2. TUB AND/OR SHOWER ENCLOSURES AND WINDOWS OVER TUBS.
3. GLAZING IN SKYLITES.
4. GLAZING IN WINDOWS WITHIN 24 INCHES OF A DOOR.
5. GLAZING IN WINDOWS MEETING ALL OF THE FOLLOWING REQUIREMENTS:
A. INDIVIDUAL PANE OF MORE THAN 9 SQ. FT.
B. BOTTOM EDGE OF GLAZING LESS THAN 18" ABOVE THE FLOOR.
C. TOP EDGE OF GLAZING MORE THAN 36" ABOVE THE FLOOR.
D. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANES OF GLAZING.

INSTALLATION OF EQUIPMENT AND PRE-FAB UNITS
THE INSTALLATION OF EQUIPMENT AND PRE-FABRICATED UNITS SUCH AS, BUT NOT LIMITED TO, FIREPLACES, CHIMNEYS, MECHANICAL AND ELECTRICAL EQUIPMENT / ACCESSORIES, AND APPLIANCES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE CODES. ALL PRE-FAB UNITS AND EQUIPMENT SHALL BE TESTED AND LISTED BY AN APPROVED AGENCY (MOST COMMONLY UL).

EXHAUST SYSTEMS
THE MAXIMUM LENGTH OF A CLOTHES DRYER EXHAUST DUCT SHALL NOT EXCEED 25 FEET FROM THE DRYER LOCATION TO THE WALL OR ROOF TERMINATION. THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED BY 2.5 FEET FOR EACH 45-DEGREE BEND AND 5 FEET FOR EACH 90 DEGREE BEND. THE MAXIMUM LENGTH OF THE EXHAUST DUCT DOES NOT INCLUDE THE TRANSITION DUCT.

SMOKE/CARBON MONOXIDE DETECTORS
SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS AND IN THE IMMEDIATE "HALL" AREA OUTSIDE SLEEPING ROOMS. DETECTORS SHALL BE INTERCONNECTED AND "HARD-WIRED" WITH BATTERY BACK-UP POWER SUPPLY. PROVIDE A MINIMUM OF ONE SMOKE DETECTOR PER FLOOR.

FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

LANDINGS AT DOORS (R311.4.3)
THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR, WHERE A STAIRWAY OF 2 OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR. A LANDING IS NOT REQUIRED FOR THE EXTERIOR SIDE.

A LANDING AT AN EXTERIOR DOOR SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.

EXCEPTION: A FLOOR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.

STAIRWAY ILLUMINATION (R303.6)
ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLES MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.

General Notes

ELECTRICAL BRANCH CIRCUITS (SECTION E3802.12)
ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE OR BRANCH FEEDER TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. ARC-FAULT CIRCUIT INTERRUPTER SHALL BE COMBINATION TYPE.

ELECTRICAL SERVICE GROUNDING
POURED WALL CONTRACTOR TO PROVIDE FOR A 20'-0" LONG (1/2" DIA. #4 REBAR) ROD INTO FOOTING AND UP THROUGH POURED WALL NEAR ELECTRICAL SERVICE LOCATION FOR GROUNDING OF ELECTRICAL SERVICE. ROD SHALL LEAVE WALL ON EXTERIOR NEAR TOP OF WALL APPROXIMATELY 18" BELOW PROPOSED GRADE. LEAVE APPROX. 24" EXPOSED OUTSIDE OF CONC. WALL. FINAL LOCATION TO BE DETERMINED BY BUILDER IN FIELD.

WATER RESISTANT GYPSUM BACKER BOARD (R702.4.2 & R702.4.3)
CEMENT FIBER CEMENT-CEMENT AND GLASS MAT GYPSUM BOARD PER R702.4.2 IN COMPLIANCE WITH ASTM C 1288, C 1325 OR C 1179 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. TO COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE.

WATER-RESISTANT GYPSUM BACKER BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN A SHOWER OR BATHTUB COMPARTMENT, WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.

FIRE SEPARATION
GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.

WATER RESISTIVE BARRIER
NO. 15 ASPHALT FELT, FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER SHEATHING OF ALL EXTERIOR WALLS INCLUDING WALLS WHERE LIVING SPACE ABUTS A GARAGE. SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2 INCHES WHERE JOINTS OCCUR. FELT SHALL BE LAPPED NOT LESS THAN 6 INCHES. THE FELT OR OTHER APPROVED MATERIAL SHALL BE CONTINUOUS TO THE TOP OF THE WALLS AND TERMINATED AT PENETRATIONS AND APPENDAGES IN A MANNER TO MEET THE REQUIREMENTS OF THE EXTERIOR WALL ENVELOPE AS DESCRIBED IN SECTION R703.1 & TABLE # R703.4 OF THE 2015 MICHIGAN RESIDENTIAL CODE.

CODES
THESE PLANS ARE INTENDED TO BE CONSISTENT WITH THE FOLLOWING CODES AS MAY BE APPLICABLE (COLLECTIVELY, THE "PROJECT CODES"):
2015 MICHIGAN RESIDENTIAL CODE (MRC)
SINGLE FAMILY DWELLING

BUILDING OFFICIAL
THE BUILDING OFFICIAL IS HEREBY REQUESTED TO (A) CONFIRM THAT THESE PLANS ARE CONSISTENT WITH APPLICABLE PROJECT CODES, (B) TO RETURN A NOTED SET TO APPLICANT UPON ISSUANCE OF ANY PERMIT AND (C) TO PROMPTLY NOTIFY OAK STREET DESIGN, AND THE APPLICANT IF THESE PLANS ARE SUSPECTED (OR DETERMINED) TO BE INCONSISTENT WITH APPLICABLE PROJECT CODES OR MUNICIPAL REQUIREMENTS.

SCOPE OF THE PLANS
IT IS BEYOND THE SCOPE OF THESE PLANS TO INCORPORATE THE FULL TEXT OF APPLICABLE PROJECT CODES AND TO OTHERWISE DETAIL EVERY ASPECT THEREOF. ALL PERSONS, COMPANIES, TRADES, AND OTHERS USING AND/OR OTHERWISE RELYING ON THESE PLANS ARE ENCOURAGED TO REVIEW AND FAMILIARIZE THEMSELVES WITH THE PROJECT CODES, AND ALL SUCH PARTIES ARE DIRECTED TO RESOLVE AND CODE QUESTION REGARDING THESE PLANS IN FAVOR OF APPLICABLE PROJECT CODES.

NOTES AND SPECIFICATIONS
ALL NOTES AND SPECIFICATIONS CONTAINED ON SHEETS OF THESE PLANS SHALL APPLY TO ALL OF THE PLAN SHEETS CONTAINED WITHIN THE SHEET INDEX ONLY.

CONFLICTING NOTATIONS
IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST SHALL GOVERN. CONFIRM ALL CONFLICTS AND CONFLICT RESOLUTIONS WITH THE SITE SUPERVISOR (I.E. GENERAL CONTRACTOR).

SAFETY REQUIREMENTS
THE SAFETY CODE REQUIREMENTS OF M.O.S.H.A., O.S.H.A., AND M.D.E.O. SHALL BE DETERMINED AND PROVIDED BY THE BUILDING COMPANY AND SHALL BE ENFORCED BY THE SITE SUPERVISOR AND SHALL APPLY TO ALL PERSONS ENTERING AND/OR WORKING ON SITE.

TEMPORARY STRUCTURAL BRACING
TEMPORARY BRACING, SHUYS, AND TIEDOWNS OF THE STRUCTURE DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE ERECTOR AND THE CONTRACTOR. THE DESIGNER AND THE ENGINEER ASSUME NO RESPONSIBILITY FOR THE ABSENCE, PRESENCE, OR ADEQUACY OR ANY TEMPORARY BRACING. ALL EXISTING STRUCTURES THAT MAY BE AFFECTED BY THE CONSTRUCTION SHALL BE ADEQUATELY PROTECTED AND/OR BRACED AS REQUIRED.

General Notes

PERMIT SET 11/4/2025
ZBA 5/27/2026

Sheet Index

No.	Title	DRAWING INDEX KEY:		ISSUED FOR:	
		NOT ISSUED	PREVIOUSLY ISSUED	PERMIT SET	ZBA
CS-1	COVER SHEET	○	○	○	○
A-1	EXISTING FLOOR PLANS & ELEVATIONS	○	○	○	○
A-2	FOUNDATION & ROOF FRAMING PLANS	○	○	○	○
A-3	PROPOSED FLOOR PLAN	○	○	○	○
A-4	ROOF PLAN & SECTIONS	○	○	○	○
A-5	PROPOSED ELEVATIONS	○	○	○	○
E-1	ELECTRICAL PLAN	○	○	○	○

OakStreet
DESIGN

1135 N. Oak St.
Rochester, MI 48307
jenna@oakstreetdesign.com
Phone: (248) 891-1629

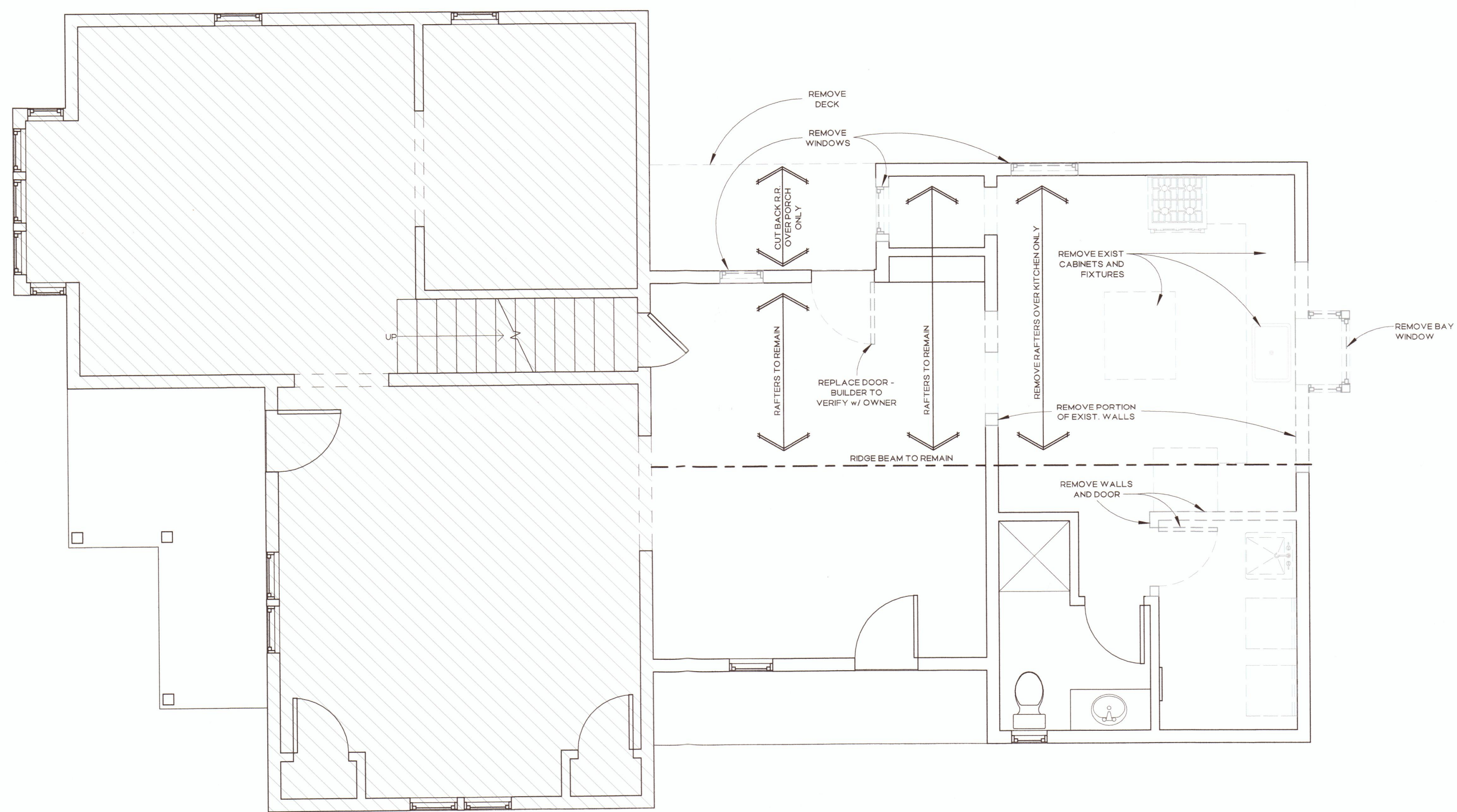
Bloomingdale
Contractors
mbloomingdale70@gmail.com
(213) 949-5088

Boodram
Residence

321 W. Third St. | Rochester, MI 48307

COVER SHEET

CS-1



Existing Main Level Plan
 1/4" = 1'-0"



Existing North Elevation
 3/16" = 1'-0"



Existing East Elevation
 3/16" = 1'-0"



Existing West Elevation
 3/16" = 1'-0"



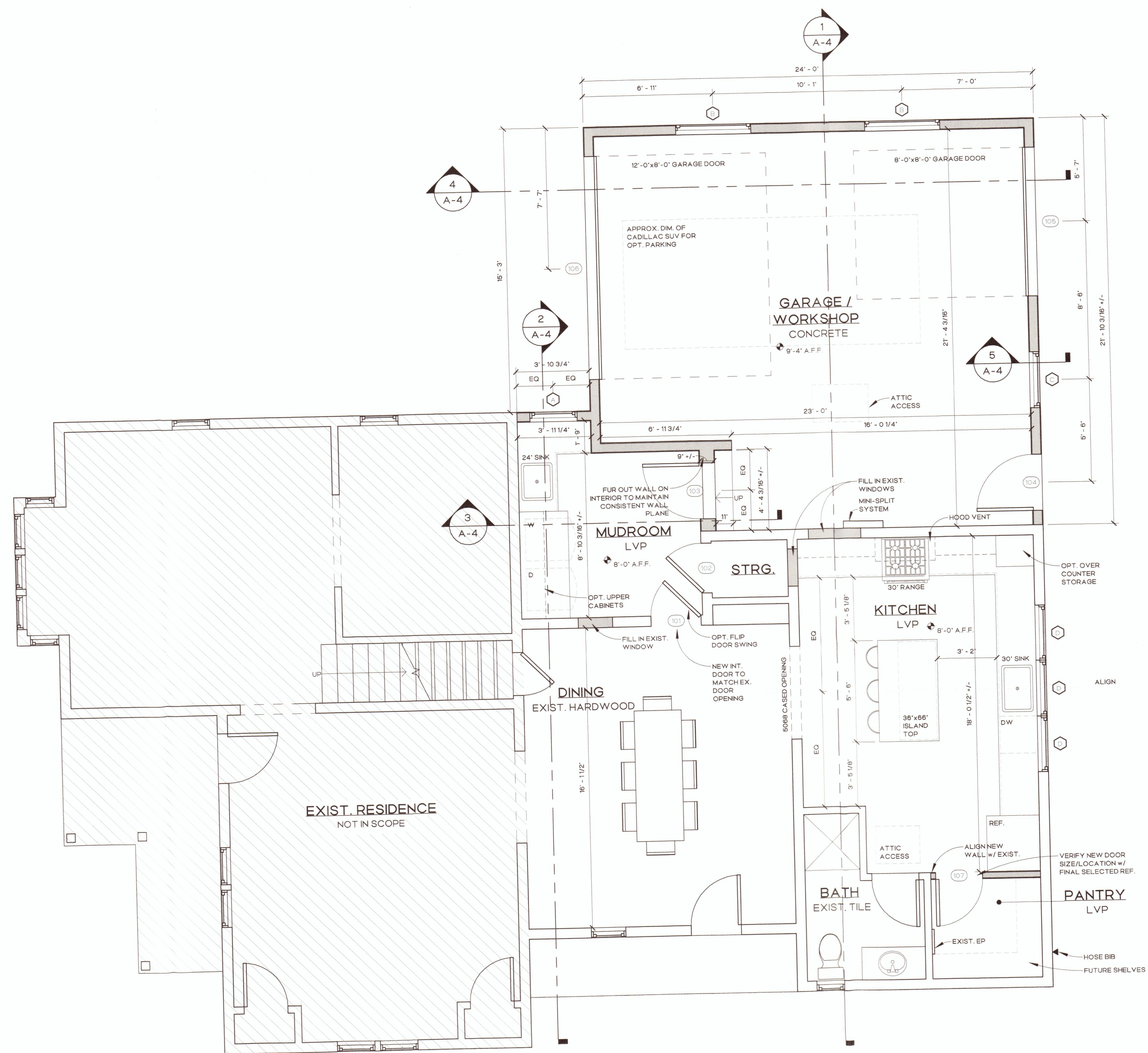
Existing South Elevation
 3/16" = 1'-0"

Door Schedule			
Door Number	Width	Height	Operation
101	2' - 8"	6' - 8"	
102	2' - 8"	6' - 8"	
103	3' - 0"	6' - 8"	
104	3' - 0"	6' - 8"	
105	8' - 0"	8' - 0"	
106	12' - 0"	8' - 0"	
107	2' - 6"	6' - 8"	

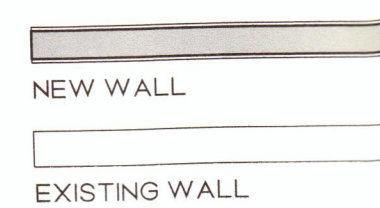
Window Schedule				
Tag	Width	Height	Operation	Comments
A	2' - 6"	3' - 0"	SH	
B	4' - 0"	1' - 6"	AWN	
C	3' - 0"	4' - 0"	SH	
D	3' - 0"	3' - 0"	SH	
E	1' - 6"	2' - 0"	FXD	

Plan Notes

- EXTERIOR WALLS, U.N.O. TO INCLUDE 2 X 6 STUDS @ 16" O.C. PROVIDE SPRAY FOAM INSULATION IN EXTERIOR WALLS WHERE PLUMBING PRESENT
- INTERIOR WALLS, U.N.O. TO INCLUDE 1/2" GYP. ON 2 X 4 STUDS AT 16" O.C. w/ MD-HIGHT BLOCKING
- EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF WALL SHEATHING
- INTERIOR DIMENSIONS IN THE ROUGH/TO THE STUD
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FINISH FLOOR MATERIALS
- CONTRACTOR TO VERIFY ALL LUMBER SIZES, BEAMS, HEADERS, ETC. WITH LUMBER PROVIDER PRIOR TO CONSTRUCTION
- PROVIDE FIREBLOCKING AS REQUIRED BY CODE (R302.11)
- MAIN LEVEL PLATE HEIGHT - 8' 1 1/8"
MAIN LEVEL DOOR AND WINDOW HEIGHT - 6'-8"

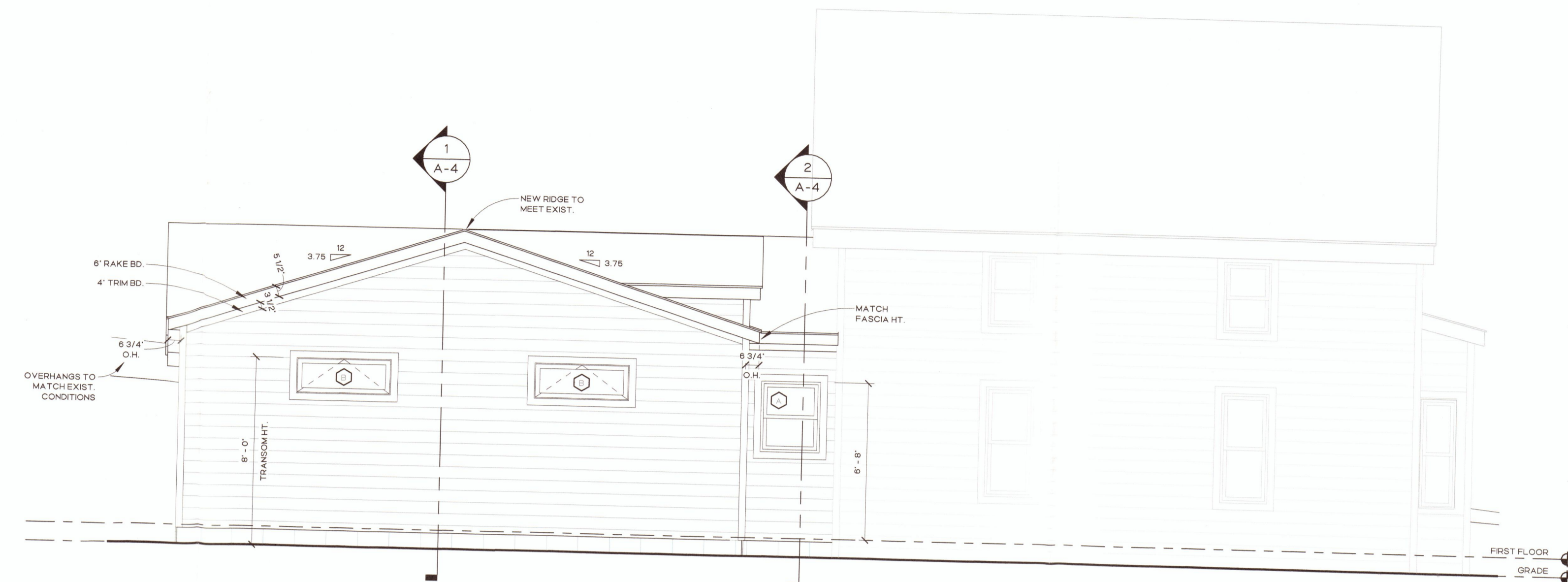


Proposed Main Level Plan
1/4" = 1'-0"

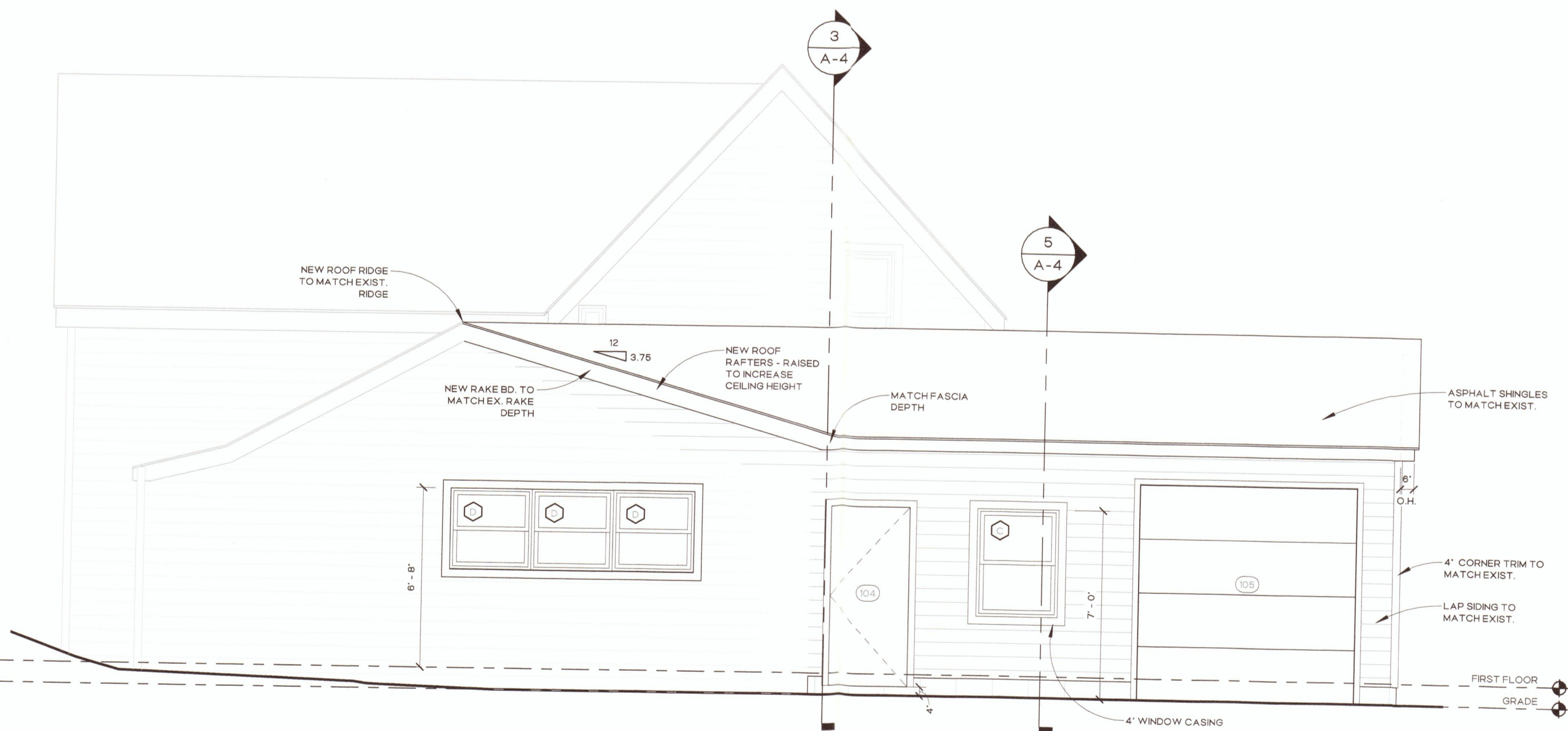




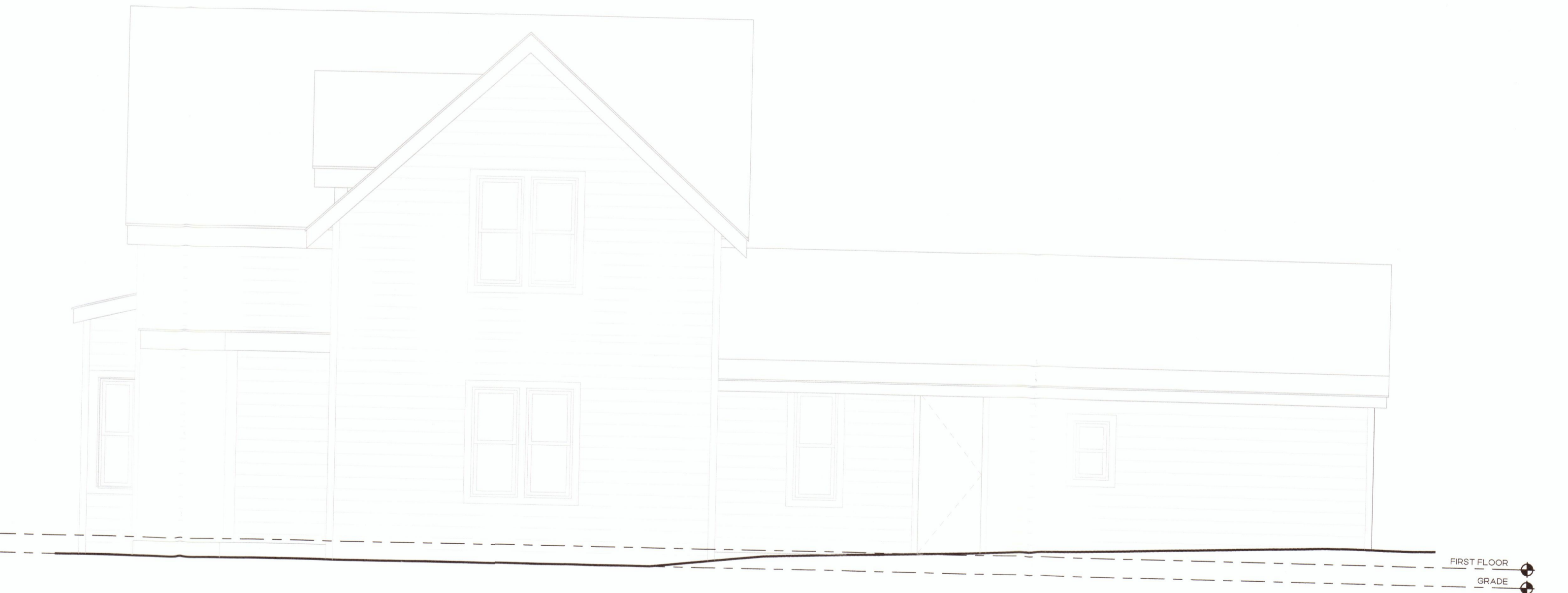
Proposed North Elevation
1/4" = 1'-0"



Proposed East Elevation
1/4" = 1'-0"



Proposed South Elevation
1/4" = 1'-0"



Proposed West Elevation
1/4" = 1'-0"

Door Schedule			
Door Number	Width	Height	Operation
101	2' - 8"	6' - 8"	
102	2' - 8"	6' - 8"	
103	3' - 0"	6' - 8"	
104	3' - 0"	6' - 8"	
105	8' - 0"	8' - 0"	
106	12' - 0"	8' - 0"	
107	2' - 6"	6' - 8"	

Window Schedule				
Tag	Width	Height	Operation	Comments
A	2' - 6"	3' - 0"	SH	
B	4' - 0"	1' - 6"	AWN	
C	3' - 0"	4' - 0"	SH	
D	3' - 0"	3' - 0"	SH	
E	1' - 6"	2' - 0"	FXD	



City of Rochester

400 Sixth Street
Rochester, MI 48307
P: (248) 651-9061
F: (248) 651-2624
www.rochestermi.org

ZONING BOARD OF APPEALS APPLICATION FOR HEARING

Date Filed: 5/6/2026 Amount of Fee Paid: \$ 500.00

Location of Property: 321 W. Third St., Rochester MI

APPELLANT: _____

Address: _____

Phone: _____ E-MAIL: _____

OWNER:

Cheryl Boodram

Address:

321 W. Third St.

Phone: 248.930.3853 E-MAIL: cheryl@chiefonline.com

DEADLINES:

- The completed Application for Hearing must be received by the City Clerk no later than **Noon, three (3) weeks prior** to the next regular meeting of the Zoning Board of Appeals.
- If the time limit is met, the City will make a reasonable effort to schedule consideration of said plan during the next regular meeting of the Zoning Board of Appeals.
- Submittals received after the cut-off time will be placed on the agenda of the subsequent meeting.

Note: The Zoning Board of Appeals normally meets the fourth Wednesday of each month at 7:00 P.M. in the Municipal Building, 400 Sixth Street. Please check the City website for the date of each meeting.

REQUIREMENTS:

- Provide all required **documentation and check** to the **City Clerk**.
- Provide **DIGITAL & 10 COPIES of the blueprint** drawings of the site plan (pre-folded to 1/4 size with the blueprint seal on the outside).
- Provide **DIGITAL & 10 COPIES of the completed Application**.
- Provide **DIGITAL & 10 COPIES of correspondence and any written documents**.
- Provide a check payable to the **City of Rochester** in the amount of **\$500.00**.
- Provide **DIGITAL blueprints, application, correspondence and any written documents** to the City Manager's Office at citymanager@rochestermi.org.

APPEARANCE IS REQUIRED:

APPLICANT OR A REPRESENTATIVE FOR THE APPLICANT MUST ATTEND THE ZONING BOARD OF APPEALS MEETING IN ORDER TO ANSWER ANY QUESTIONS BY THE ZBA MEMBERS.



FAILURE OF THE APPLICANT OR APPLICANT REPRESENTATIVE TO ATTEND THE ZONING BOARD OF APPEALS MEETING MAY RESULT IN TABLING CONSIDERATION OF THE APPEAL OR DENIAL OF THE APPEAL.

Complete the appropriate section below. Additional information is to be supplied on separate sheets if the space provided on this form is inadequate. Attach plans, drawn to scale, showing shape and dimension of lots, buildings and lines of proposed building to be erected, altered or changed, also indicating setbacks, relationship to neighborhood lots and other pertinent information.

SECTION 1. Interpretation or Administrative Review

The appellant respectfully requests that an interpretation be made by the Board of Appeals of Article _____, Section _____, of the City Zoning Ordinance.

An appeal is requested for a review of a determination made by the Zoning Ordinance enforcing officer. (See Section 3002a)

An appeal is made for an interpretation of the Zoning Map as follows. (Article 1, Section 100)

An interpretation of the Zoning map is requested for the following reasons:

SECTION 2. Variance (A variance is for a structure otherwise prohibited by the ordinance and can be granted only in showing an undue hardship or practical difficulty. See Article 30, Section 3001b.)

The appellant respectfully requests that an adjustment of the terms of the Zoning Ordinance be made in the case of his property because the following peculiar or unusual conditions are present which justify a variance:

- _____ Historic existing house is outside of typical lot setbacks
- _____ Corner lot w/wide clear space between property line and Oak Street curb (no sidewalk here)
- _____ Steep grade change in backyard creating watershed concerns

The following unnecessary hardship will result if the variance is not granted:

- _____ No buildable area on lot with rear topography slope for detached garage
- _____ No garage on site

By signing this application, the undersigned hereby grants full authority to the City of Rochester, its agents, employees, representatives and/or appointees to enter upon the undersigned lands and properties for the purpose of inspection and examination incidental hereto.

Signature of Owner:  _____

Cheryl Boodram

(Print Name)

Date: 5/4/2026

Signature of Applicant (if not Owner): _____

(Print Name)

Date: _____

REVIEWED AND CONFIRMED VARIANCE IS NEEDED:

CITY OF ROCHESTER CODE INSPECTOR

Date: _____

Rochester Zoning Board of Appeals

May 4, 2026

Re: 321 W. 3rd Street, Rochester, MI 48307

Dear Members of the Zoning Board of Appeals:

I am the owner of the property located at 321 W. 3rd Street, and I respectfully request approval of a variance in connection with a proposed garage addition.

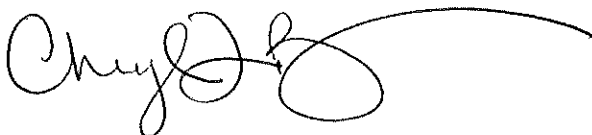
The original structure was constructed in 1860. A kitchen addition was completed in 1990, bringing portions of the home into closer alignment with current standards; however, the overall structure remains constrained by its historic footprint. The proposed garage addition on the east side of the home meets the minimum side yard setback, but due to the placement of the existing structure, the combined spacing requirement cannot be achieved.

This request is supported by several unique characteristics of the property:

- The property is a corner lot, with over 15 feet of green space along the west side. Due to the topography, a sidewalk cannot reasonably be installed in this area.
- Along the east property line, the adjacent neighbor's driveway is located at the property line, providing additional separation between structures.
- The rear yard contains a steep slope, making it impractical to construct a garage in the backyard.

I have reviewed the plans with nearby neighbors, who have provided letters of support for the project (included). Given the age of the home, the configuration of the lot, and the topographical constraints, I believe this request reflects a practical difficulty unique to the property and that the proposal maintains the intent of the zoning requirements.

Thank you for your consideration.



Cheryl Boodram

248-930-3853

cheryl@chiefonline.com

March 11, 2026

To the Zoning Board of Appeals:

I am the owner of the property located at 315 W 3rd Street, which is adjacent to 321 W. 3rd Street, Rochester, MI 48307.

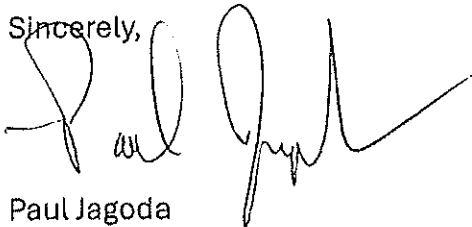
Cheryl Boodram reviewed the architectural drawings and plans for the proposed project at their property with me, and I understand the nature of the variance request being presented to the Zoning Board of Appeals.

I want to express that I fully support the proposed project and the requested variance. In my opinion, the improvements will be a positive addition to the property and will enhance the overall appearance and aesthetic of the street.

Based on the plans that were shared with me, I do not have any concerns about the project or how it relates to my property. Our homes are separated by my driveway along the shared property line, which provides additional space between the structures. Additionally, the right-of-way along Oak Street creates further openness on that side of the property. Because of this, I believe the project maintains the general intent of the zoning requirements regarding spacing and neighborhood character.

Please feel free to contact me if additional information would be helpful.

Sincerely,

A handwritten signature in black ink, appearing to read "Paul Jagoda". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Paul Jagoda

315 W 3rd Street, Rochester, MI 48307

586-413-0342

To the Zoning Board of Appeals:

We are the owners/residents of the property located at 320 W 3rd Street, which is across the street from 321 W 3rd Street, Rochester, MI 48307.

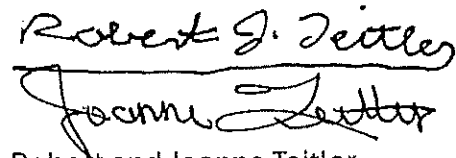
Cheryl Boodram recently shared the plans for the proposed project at her property with us, including the nature of the variance request being presented to the Zoning Board of Appeals.

After reviewing the plans and discussing the project, we would like to express that we support the proposed improvements. In our opinion, the project will be a positive addition to the property and will enhance the appearance and character of the street.

We do not have any concerns regarding the project and appreciate that the plans were shared with nearby neighbors.

Please feel free to contact us if additional information would be helpful.

Sincerely,

Handwritten signatures of Robert J. Teitler and Joanne Teitler. The signature of Robert J. Teitler is written in cursive and is positioned above the signature of Joanne Teitler, which is also in cursive.

Robert and Joanne Teitler
320 W 3rd Street, Rochester, MI 48307
248-840-0418
248-840-0419

To the Zoning Board of Appeals:

I am the owner/resident of the property located at 403 W 3rd Street, which is across the street from 321 W 3rd Street, Rochester, MI 48307.

Cheryl Boodram recently shared the plans for the proposed project at her property with me, including the nature of the variance request being presented to the Zoning Board of Appeals.

After reviewing the plans and discussing the project, I would like to express that I support the proposed improvements. In my opinion, the project will be a positive addition to the property and will enhance the appearance and character of the street.

I do not have any concerns regarding the project and appreciate that the plans were shared with nearby neighbors.

Please feel free to contact me if additional information would be helpful.

Sincerely,

DocuSigned by:

0A16AFE7BCEF486...

Paul Haig
403 W 3rd Street, Rochester, MI 48307
248-705-9070

Certificate Of Completion

Envelope Id: D7E7EB98-E0E7-4E7C-97EA-B7483082A1E4	Status: Completed
Subject: Complete with Docusign: ZBA Letter_Haig	
Source Envelope:	
Document Pages: 1	Signatures: 1
Certificate Pages: 4	Initials: 0
AutoNav: Enabled	Envelope Originator:
EnvelopeId Stamping: Enabled	Cheryl Boodram
Time Zone: (UTC-08:00) Pacific Time (US & Canada)	200 Diversion St
	Rochester Hills, MI 48307
	cheryl@chiefonline.com
	IP Address: 12.163.240.90

Record Tracking

Status: Original	Holder: Cheryl Boodram	Location: DocuSign
3/16/2026 3:26:36 PM	cheryl@chiefonline.com	

Signer Events

Paul Haig
 phaig@haigsofrochester.com
 Security Level: Email, Account Authentication (None)

Signature



Signature Adoption: Pre-selected Style
 Using IP Address:
 2600:1700:6410:b010:b680:c161:ef6b:7b38
 Signed using mobile

Timestamp

Sent: 3/16/2026 3:28:52 PM
 Resent: 3/17/2026 11:33:22 AM
 Resent: 3/19/2026 9:39:49 AM
 Viewed: 3/19/2026 9:44:00 AM
 Signed: 3/19/2026 9:44:18 AM

Electronic Record and Signature Disclosure:
 Accepted: 3/19/2026 9:44:00 AM
 ID: f223e790-734e-47f2-a575-ff8f9270d4e4

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	3/16/2026 3:28:52 PM
Certified Delivered	Security Checked	3/19/2026 9:44:00 AM
Signing Complete	Security Checked	3/19/2026 9:44:18 AM
Completed	Security Checked	3/19/2026 9:44:18 AM

Payment Events	Status	Timestamps
-----------------------	---------------	-------------------

Electronic Record and Signature Disclosure

To the Zoning Board of Appeals:

We are the owners/residents of the property located at 404 W 3rd Street, which is located diagonally across the street from 321 W 3rd Street, Rochester, MI 48307.

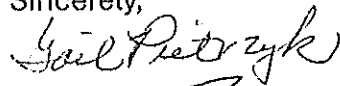
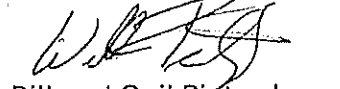
Cheryl Boodram recently shared the plans for the proposed project at her property with us, including the nature of the variance request being presented to the Zoning Board of Appeals.

After reviewing the plans and discussing the project, we would like to express that we support the proposed improvements. In our opinion, the project will be a positive addition to the property and will enhance the appearance and character of the street.

We do not have any concerns regarding the project and appreciate that the plans were shared with nearby neighbors.

Please feel free to contact us if additional information would be helpful.

Sincerely,

Bill and Gail Pietrzyk

404 W 3rd Street, Rochester, MI 48307

248-701-0084

To the Zoning Board of Appeals:

I am the owner/resident of the property located at 315 Oak Street, which is down the street from 321 W 3rd Street, Rochester, MI 48307.

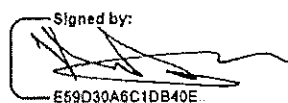
Cheryl Boodram recently shared the plans for the proposed project at their property with me, including the nature of the variance request being presented to the Zoning Board of Appeals.

After reviewing the plans and discussing the project, I would like to express that I support the proposed improvements. In my opinion, the project will be a positive addition to the property.

I do not have any concerns regarding the project and appreciate that the plans were shared with nearby neighbors.

Please feel free to contact me if additional information would be helpful.

Sincerely,

Signed by:

E59D30A6C1DB40E..

Matthew Vazana
315 Oak Street, Rochester, MI 48307
248-376-9399

Certificate Of Completion

Envelope Id: 06F2E699-AF00-44C1-AE4D-0FF6EA8C66A5
 Subject: Complete with Docusign: ZBA Letter_Vazana
 Source Envelope:
 Document Pages: 1
 Certificate Pages: 4
 AutoNav: Enabled
 EnvelopeId Stamping: Enabled
 Time Zone: (UTC-08:00) Pacific Time (US & Canada)

Status: Completed

Envelope Originator:
 Cheryl Boodram
 200 Diversion St
 Rochester Hills, MI 48307
 cheryl@chiefonline.com
 IP Address: 12.163.240.90

Record Tracking

Status: Original
 3/16/2026 3:10:25 PM

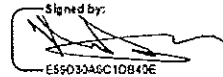
Holder: Cheryl Boodram
 cheryl@chiefonline.com

Location: DocuSign

Signer Events

Matthew Vazana
 mvazana@ccsprojects.com
 Vice President
 Security Level: Email, Account Authentication
 (None)

Signature



Signature Adoption: Drawn on Device
 Using IP Address:
 2601:408:c580:7d60:30c1:599c:1b7e:84a3

Timestamp

Sent: 3/16/2026 3:11:53 PM
 Viewed: 3/16/2026 3:33:24 PM
 Signed: 3/16/2026 3:34:17 PM

Electronic Record and Signature Disclosure:
 Accepted: 3/16/2026 3:33:24 PM
 ID: 94e3905c-eeae-4298-904e-4106ce461706

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Witness Events

Signature

Timestamp

Notary Events

Signature

Timestamp

Envelope Summary Events

Status

Timestamps

Envelope Sent Hashed/Encrypted
 Certified Delivered Security Checked
 Signing Complete Security Checked
 Completed Security Checked

3/16/2026 3:11:53 PM
 3/16/2026 3:33:24 PM
 3/16/2026 3:34:17 PM
 3/16/2026 3:34:17 PM

Payment Events

Status

Timestamps

Electronic Record and Signature Disclosure